

DEVELOPMENT SUMMARY CHART / ZONING INFORMATION

JURISDICTION	CITY OF LYNNWOOD
ADDRESS	NW OF 194 TH ST. SW & 58 TH PL. W. LYNNWOOD, WA 98036 (PORTION OF ESD CEDAR VALLEY COMMUNITY SCHOOL SITE LOCATED AT 19200 56 TH AVE. W) 00565300004300 (PARCEL B OF BLA-009742-2021)
APN	00565300004300
EXISTING ZONING	RMH
FUTURE LAND USE	MF-3 COMP. PLAN DESIGNATION
TOTAL LAND AREA	95,926 SF / 2.20 ACRES
PROPOSED USE(S)	BUILDING A MULTIFAMILY RESIDENTIAL, SUPPORTIVE SERVICES AND COMMUNITY AMENITIES BUILDING B MULTIFAMILY RESIDENTIAL BUILDING C MULTIFAMILY RESIDENTIAL BUILDING D MULTIFAMILY RESIDENTIAL
MINIMUM LOT AREA	NONE
MINIMUM LOT WIDTH	100' + 1' PER 10' LOT DEPTH AFTER FIRST 10'
MINIMUM STREET FRONTAGE	70'
MINIMUM LOT AREA / UNIT	1,000 SF
MAXIMUM DENSITY	95 DWELLING UNITS
PROPOSED DENSITY	52 DWELLING UNITS / 119 BDRMS TOTAL - (9) 1 BDRM, (25) 2 BDRM, (12) 3 BDRM, (6) 4 BDRM
BUILDING AREA TOTAL	55,428 SF (INCLUDES USABLE EXTERIOR AREA W/ PROJECTION / ROOF ABOVE)
BUILDING A	6,754 SF (3,509 SF NON-RESIDENTIAL, 3,245 RESIDENTIAL)
BUILDING B	11,232 SF (RESIDENTIAL)
BUILDING C	16,723 SF (RESIDENTIAL)
BUILDING D	16,723 SF (RESIDENTIAL)
MAX. LOT COVERAGE BY BUILDINGS	45%
PROPOSED BUILDING LOT COVERAGE	19.5% (LEVEL 1 ALL BUILDINGS 18,703 SF / SITE 95,926 SF)
IMPERVIOUS SITE COVERAGE	(REFER TO CIVIL)
MAXIMUM BUILDING HEIGHT	NONE
TALLEST BUILDING	35' - 8 1/2" (BUILDING B)
BUILDING SETBACKS	(FRONT, REAR & SIDE YARD SETBACKS INCREASED 1' PER EACH 1' OF BUILDING HEIGHT THAT EXCEEDS 45')
FRONT (CORNER LOT)	15'
STREET SIDE (CORNER LOT)	15'
SIDE (INTERIOR)	15'
REAR	25'
PARKING SETBACK	N/A
REFUSE ENCLOSURE SETBACK	25' FROM PUBLIC STREET, 10' FROM INTERIOR PROPERTY LINE
PARKING	102
REQUIRED OFF-STREET AUTO PARKING	82 TOTAL (<20% PARKING REDUCTION REQUEST)
PROPOSED OFF-STREET AUTO PARKING	16 (<20% OF PARKING PROVIDED)
COMPACT PARKING	4 (INCLUDING 1 VAN ACCESSIBLE)
ACCESSIBLE PARKING	N/A
SHARED PARKING	N/A
ELECTRIC VEHICLE PARKING	9 EV INSTALLED (10%), INCLUDING 1 VAN ACCESSIBLE EV INSTALLED 21 EV READY (25%) 9 EV CAPABLE (10%)
BICYCLE RACK SPACES	20 (DOES NOT CONTRIBUTE TOWARDS AUTO PARKING REDUCTION)
OPEN / PUBLIC SPACE CALCULATIONS	N/A
REQUIRED ACTIVE RECREATION	10,400 SF (52 DU X 200 SF / DU)
PROPOSED ACTIVE RECREATION AREAS	10,965 SF TOTAL (REFER TO LANDSCAPE / IRRIGATION)
LANDSCAPING	

SITE PLAN NOTES:

- COORDINATE NEW WORK WITH SITE SURVEY. NOTIFY ARCHITECT OF ANY UNFORESEEN CONDITIONS.
- MAINTAIN ACCESS TO SIDEWALKS AROUND THE SITE TO THE GREATEST EXTENT POSSIBLE DURING CONSTRUCTION.
- NOTIFY ARCHITECT OF ANY DISCREPANCIES BETWEEN FIELD CONDITIONS AND PROJECT DOCUMENTS THAT WILL REQUIRE ADDITIONAL WORK OR WILL NOT ALLOW THE PROJECT DOCUMENT SCOPE OF WORK TO BE COMPLETED AS SHOWN.
- SEE CIVIL DRAWINGS FOR TESC REQUIREMENTS, TEMPORARY FENCING, GRADING, DRAINAGE, CURB, SIDEWALKS, PAVING, UTILITIES, ETC. GRAPHICS SHOWN HERE ARE FOR REFERENCE ONLY.
- SEE LANDSCAPE FOR TREE PROTECTION, SITE RETAINING WALLS, STAIRS, RAILINGS, PAVING PATTERNS, LIGHTING LAYOUTS, IRRIGATION, AND PLANTING, ETC. GRAPHICS SHOWN HERE ARE FOR REFERENCE ONLY.
- SEE ELECTRICAL FOR ELECTRICAL DEMO, NEW ELECTRICAL, FIBER, TELECOM, TRANSFORMER, AND LIGHTING.
- SEE MECHANICAL FOR GREASE INTERCEPTOR, NEW FIRE AND WATER LINES, ETC.
- SEE SITE DEMOLITION PLANS FOR MORE INFORMATION.

SITE PLAN MATERIAL LEGEND:

	CONCRETE		DETECTABLE WARNING
	ASPHALT		COMPACTED GRAVEL
	SITE PLANTING		

1 SITE PLAN

1" = 20'-0"



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HOUSING HOPE SCRIBER PLACE

VE REDESIGN

ISSUE DATE: MAY 17, 2024

REVISION SCHEDULE		
#	Date	Description

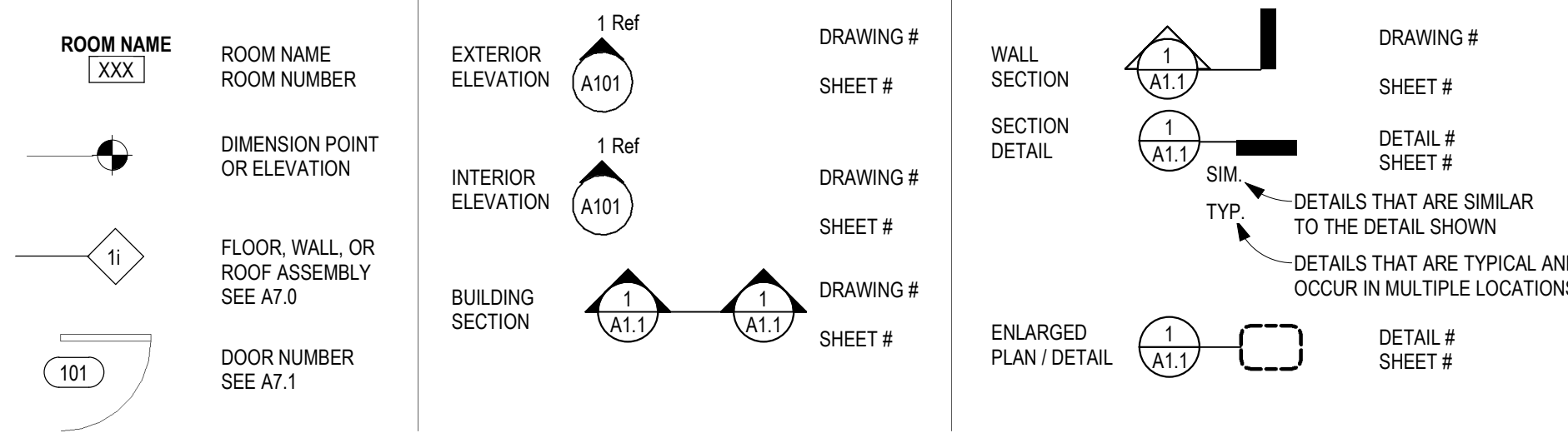
CONTENTS: SITE PLAN

SCALE:	As Indicated
DRAWN:	RB, AM
CHECKED:	KW
PROJECT NO:	2023004.00
SHEET:	

A1.0

CONTRACTOR IS RESPONSIBLE FOR COORDINATING DRAWINGS AND SPECIFICATIONS

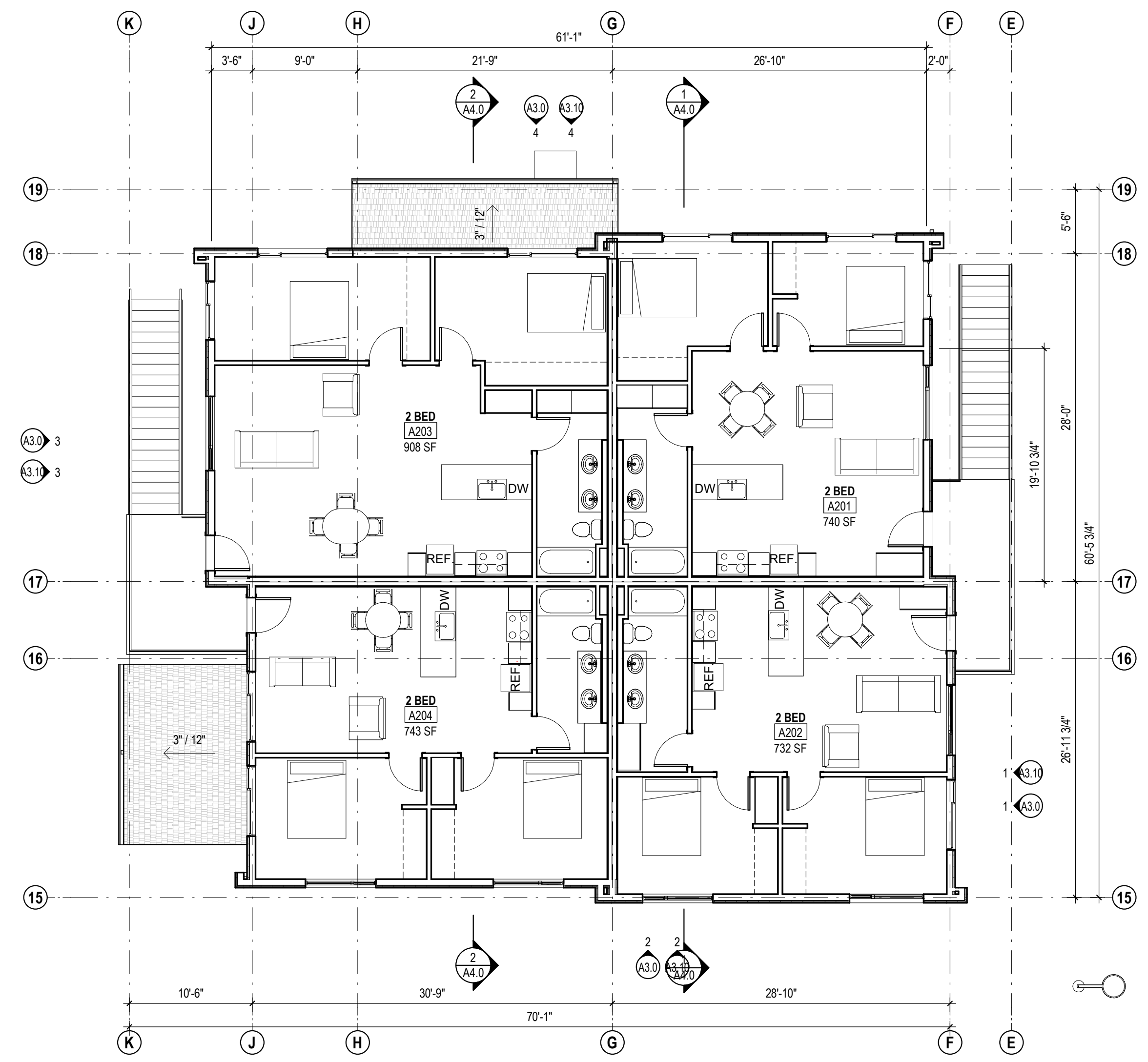
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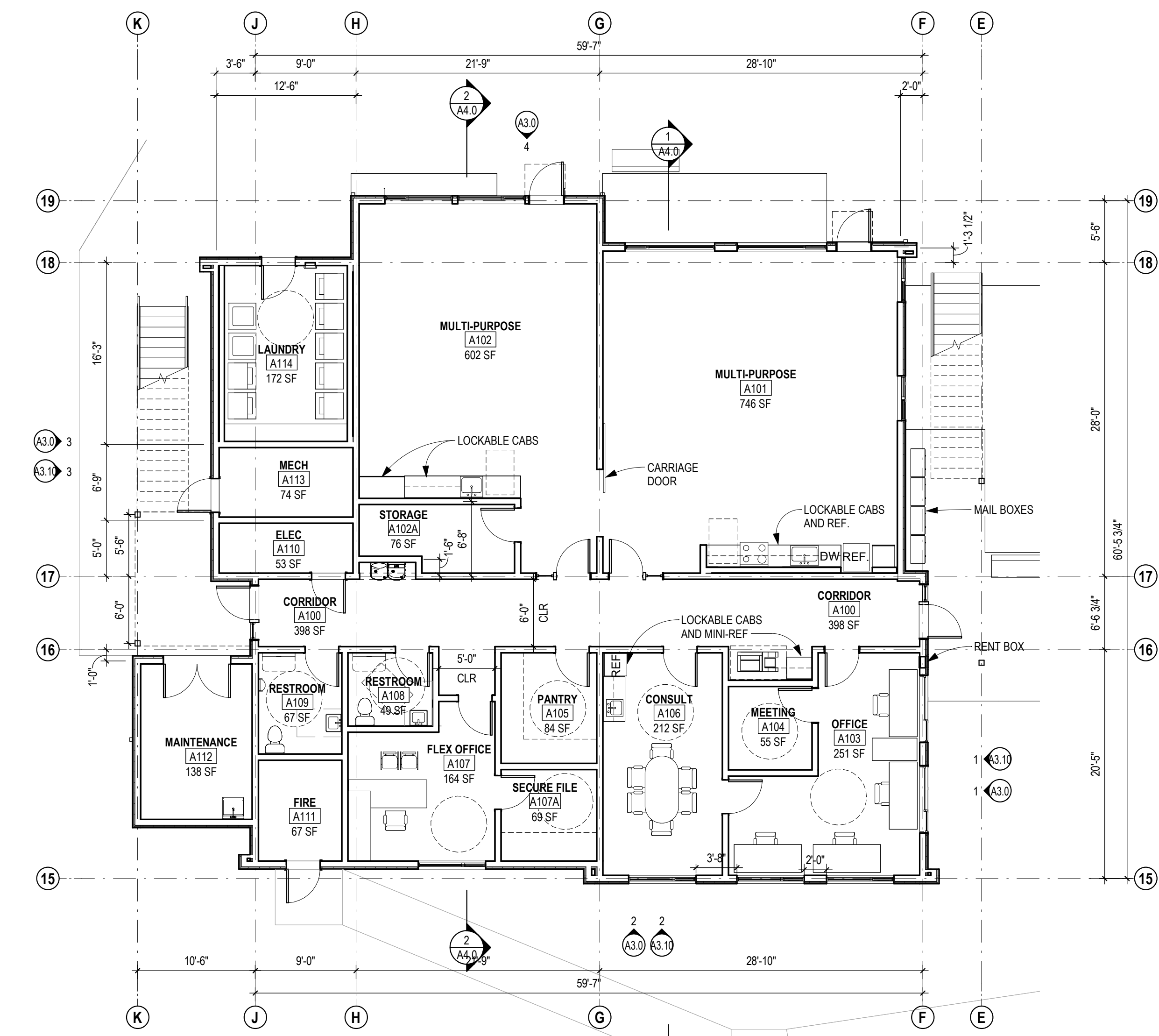
PLAN NOTES:

- REFER TO T1.0 FOR GENERAL NOTES.
- REFER TO A7 SHEETS FOR FLOOR, WALL, AND ROOF ASSEMBLIES.
- REFER TO THE OVERALL PLANS (SHEETS A2.11-2.44) FOR INFORMATION RELATING TO THE EXTERIOR ENVELOPE. REFER TO THE ENLARGED PLANS (SHEET A2.50+) FOR INFORMATION RELATING TO THE INTERIOR CONDITIONS.
- REFER TO BUILDING SECTION (A4 SHEETS) AND SCHEDULES (A7 SHEETS) FOR EXTERIOR WALL, FLOOR, AND CEILING ASSEMBLIES.
- SEE CIVIL & LANDSCAPE DRAWINGS FOR EXTERIOR OF BUILDING CONDITIONS BEYOND THE BUILDING PERIMETER.
- REFER TO SCHEDULES (A7 SHEETS) FOR ADDITIONAL INFORMATION.
- NOT ALL REQUIRED ACCESS PANELS HAVE BEEN SHOWN. PROVIDE ACCESS PANELS AS REQUIRED. COORDINATE THEIR LOCATION WITH ALL MECHANICAL AND ELECTRICAL ITEMS LOCATED IN WALLS & CEILINGS. PAINT TO MATCH ADJACENT SURFACES.
- ROOMS WITH CAPACITY GREATER THAN 50 OCCUPANTS SHALL HAVE CLEARLY VISIBLE SIGNAGE INDICATING OCCUPANT CAPACITY FOR THAT ROOM.
- SEE ENLARGED UNIT PLANS FOR UNIT DOOR TYPES.
- SENSORY ACCESSIBLE UNITS PER SECTION 504 (HUD) NOTED WITH AN ASTERISK (*)
- FEC (FIRE EXTINGUISHER IN 1-HR RATED, SEMI RECESSED CABINET, 4" MAX PROJECTION FROM WALL, MOUNTED AT ACCESSIBLE HEIGHT)

BUILDING A AREAS	
LEVEL 1:	3,509 SF
LEVEL 2:	3,245 SF
TOTAL:	6,754 SF



2 BUILDING A - LEVEL 2.1 PLAN
1/8" = 1'-0"



1 BUILDING A - LEVEL 1 PLAN
1/8" = 1'-0"



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19200 56TH AVE. W., LYNNWOOD, WA 98036
APN: 0056530004300, PARCEL B

VE REDESIGN

ISSUE DATE: MAY 17, 2024

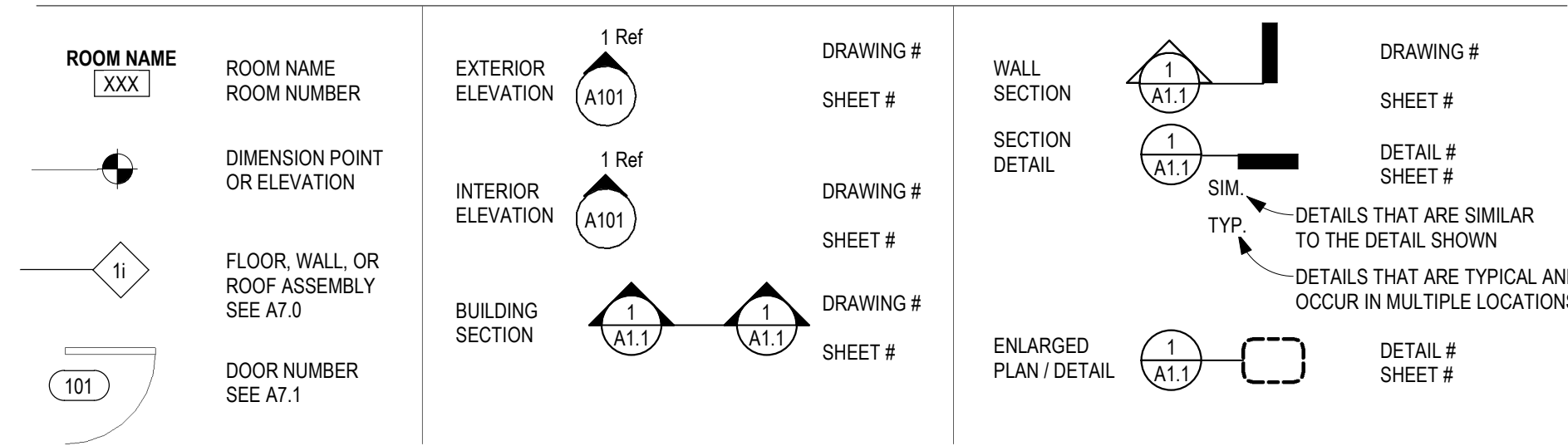
REVISION SCHEDULE		
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CONTENTS:
**BUILDING A -
LEVEL 1 & 2 PLAN**

SCALE: As Indicated
DRAWN: RB, AM
CHECKED: KW
PROJECT NO: 2023004.00
SHEET:

A2.11

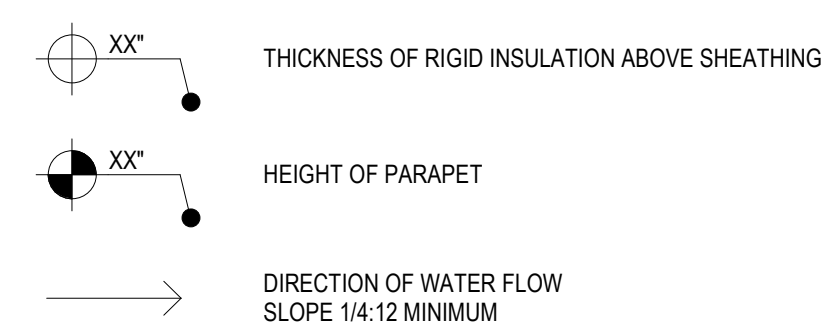
PLAN LEGEND:



ROOF PLAN NOTES:

- FOR ROOF TYPE ASSEMBLIES - SEE BUILDING SECTIONS (A4 SHEETS)
- SEE EXTERIOR ELEVATIONS (A3 SHEETS) FOR DOWNSPOUT LOCATIONS. COORDINATE WITH CIVIL. NOTIFY ARCHITECT OF ANY CONFLICTS.
- SIZE FALL PROTECTION POSTS TO HAVE 10" FREE LENGTH OF POST ABOVE THE DEEPEST INSULATION LOCATION FOR WATERPROOFING. ALL POSTS TO BE THE SAME HEIGHT.
- DRAWINGS INDICATE GENERAL & TYPICAL DETAILS OF CONSTRUCTION. WHERE CONDITIONS ARE NOT SPECIFICALLY INDICATED BUT ARE OF SIMILAR CHARACTER, TYPICAL DETAILS SHALL APPLY.
- ROOF PIPING AND VENT PENETRATION LOCATIONS ARE SHOWN FOR CONTRACTOR COORDINATION AND FOR DESIGN INTENT. FOR ACTUAL PENETRATION QUANTITIES REQUIRED, SEE MECH.

ROOF PLAN LEGEND:



ROOF VENT CALCULATIONS - BLDG A

NOTE:
 BASIS OF DESIGN AT SLOPED ROOFS:
 LOW VENT = COR-A-VENT S-400 (10 SQ IN NFVA PER FOOT)
 HIGH VENT = 3" WIDE LINEAR SOFFIT VENT (15 SQ IN NFVA PER FOOT)

ROOF AREA A1
 TOTAL ATTIC AREA: 400 SF
 REQUIRED NFVA (AREA/150): 2.67 SF (384 SQ IN)
 TOTAL VENT PROVIDED:
 20' LOW VENT = 200 SQ IN
 20' HIGH VENT = 300 SQ IN
 500 SQ IN > 384, THEREFORE **OK**

ROOF AREA A2
 TOTAL ATTIC AREA: 381 SF
 REQUIRED NFVA (AREA/150): 2.54 SF (366 SQ IN)
 TOTAL VENT PROVIDED:
 17' LOW VENT = 170 SQ IN
 17' HIGH VENT = 255 SQ IN
 425 SQ IN > 366, THEREFORE **OK**

ROOF AREA A3
 TOTAL ATTIC AREA: 385 SF
 REQUIRED NFVA (AREA/150): 2.57 SF (389.6 SQ IN)
 TOTAL VENT PROVIDED:
 18' LOW VENT = 180 SQ IN
 18' HIGH VENT = 270 SQ IN
 450 SQ IN > 389.6, THEREFORE **OK**

ROOF AREA A4
 TOTAL ATTIC AREA: 377 SF
 REQUIRED NFVA (AREA/150): 2.51 SF (362 SQ IN)
 TOTAL VENT PROVIDED:
 17' LOW VENT = 170 SQ IN
 17' HIGH VENT = 255 SQ IN
 425 SQ IN > 362, THEREFORE **OK**

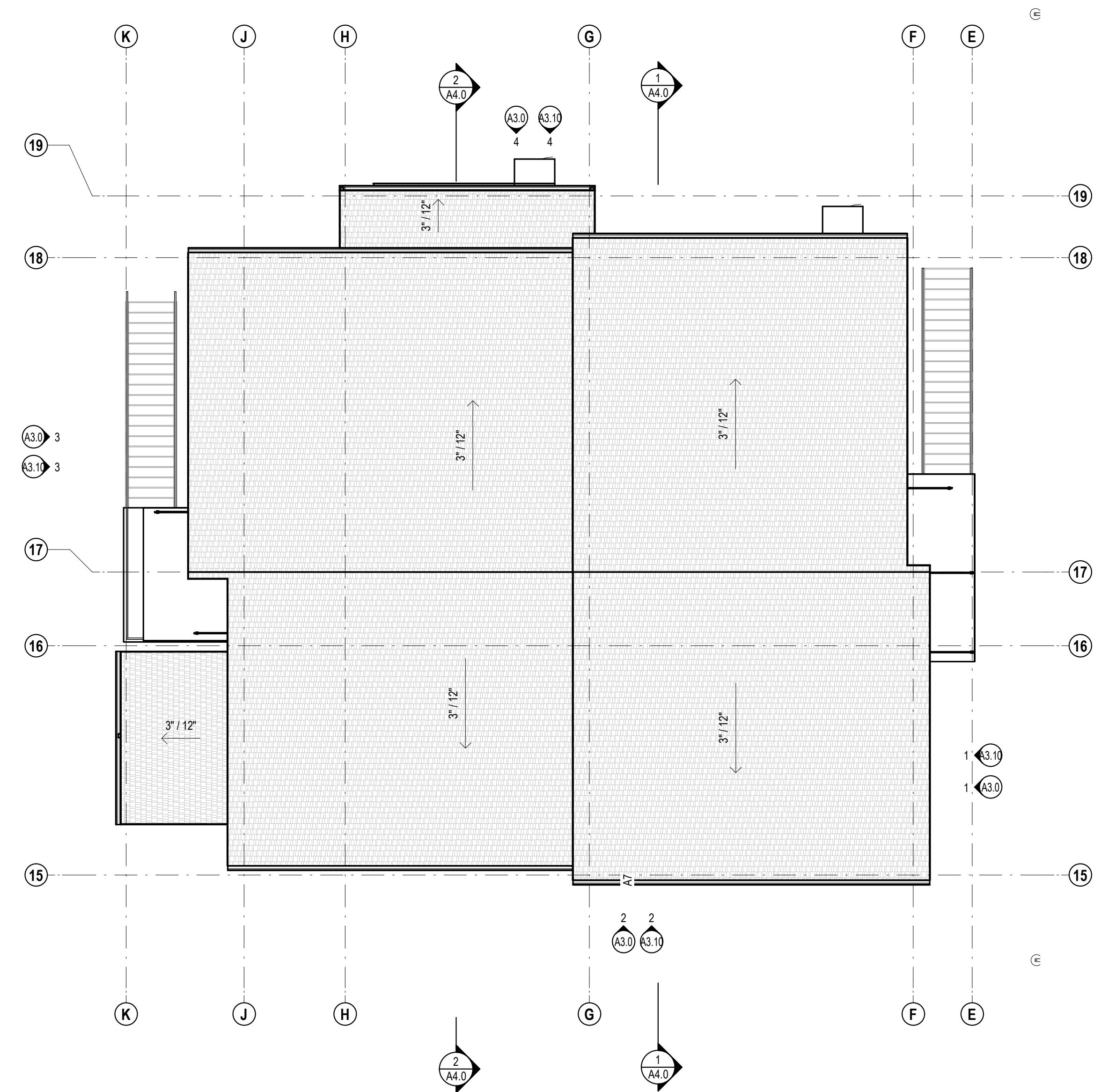
ROOF AREA A5
 TOTAL ATTIC AREA: 1,117 SF
 REQUIRED NFVA (AREA/150): 7.44 SF (1,072 SQ IN)
 TOTAL VENT PROVIDED:
 36' LOW VENT = 360 SQ IN
 53' HIGH VENT = 795 SQ IN
 1,155 SQ IN > 1,117, THEREFORE **OK**

ROOF AREA A6
 TOTAL ATTIC AREA: 1,482 SF
 REQUIRED NFVA (AREA/150): 9.88 SF (1,422.72 SQ IN)
 TOTAL VENT PROVIDED:
 48' LOW VENT = 480 SQ IN
 65' HIGH VENT = 975 SQ IN
 1,455 SQ IN > 1,422.72, THEREFORE **OK**

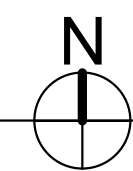
ROOF AREA A7
 TOTAL ATTIC AREA: 873 SF
 REQUIRED NFVA (AREA/150): 5.82 SF (838.08 SQ IN)
 TOTAL VENT PROVIDED:
 45' LOW VENT = 450 SQ IN
 45' HIGH VENT = 675 SQ IN
 1,125 SQ IN > 838.08, THEREFORE **OK**

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1 BUILDING A - ROOF PLAN
 1/8" = 1'-0"



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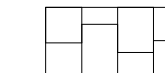
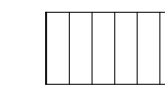
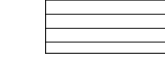
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**BUILDING A -
 ROOF PLAN**

SCALE: As indicated
 DRAWN: RB, AM
 CHECKED: KW
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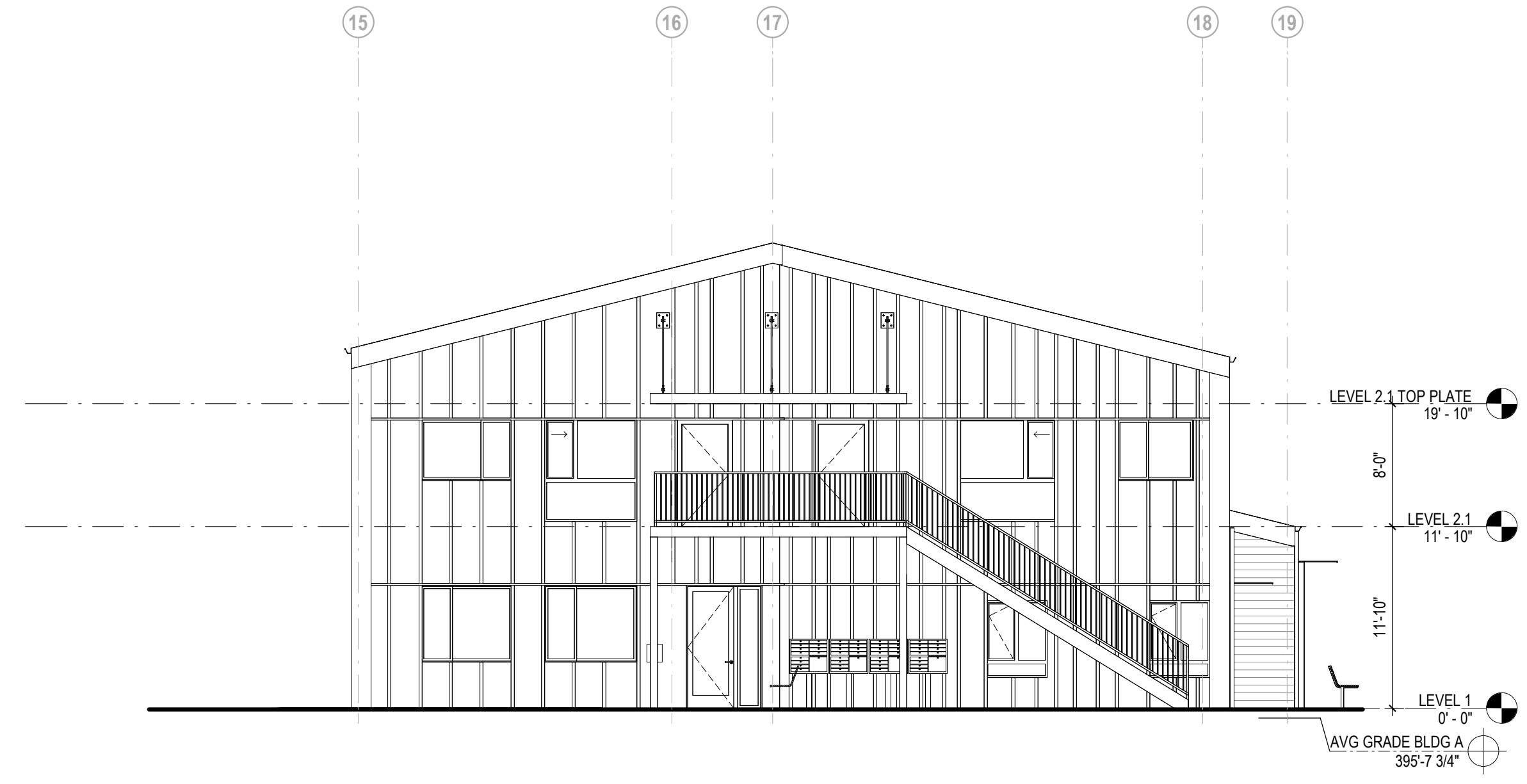
A2.12

ELEVATION LEGEND

-  **SIDING TYPE 1:** FIBER-CEMENT PANEL SIDING
-  **SIDING TYPE 2:** FIBER-CEMENT BATTEN SIDING - VARIABLE WIDTH PATTERN
-  **SIDING TYPE 3:** FIBER-CEMENT LAP SIDING



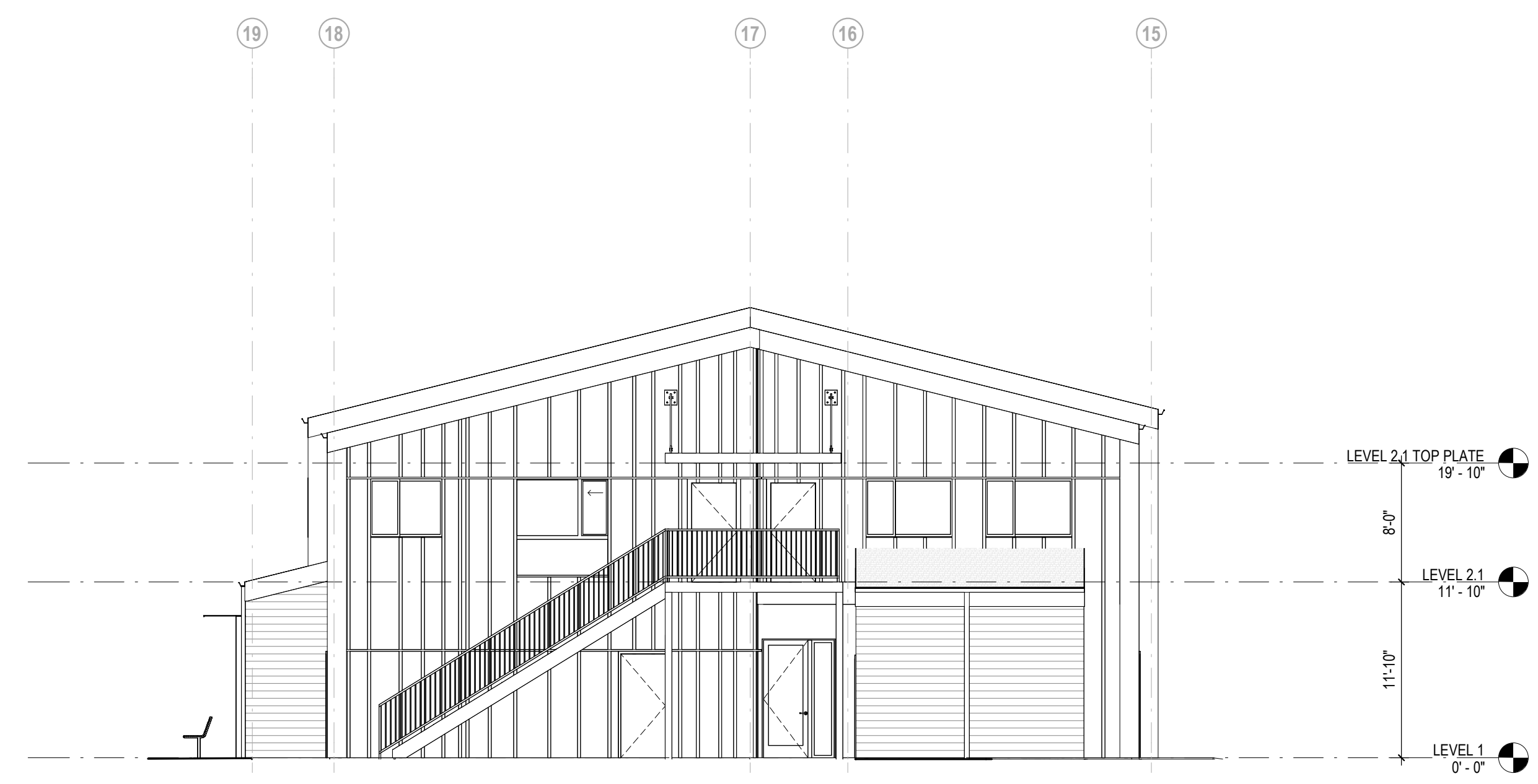
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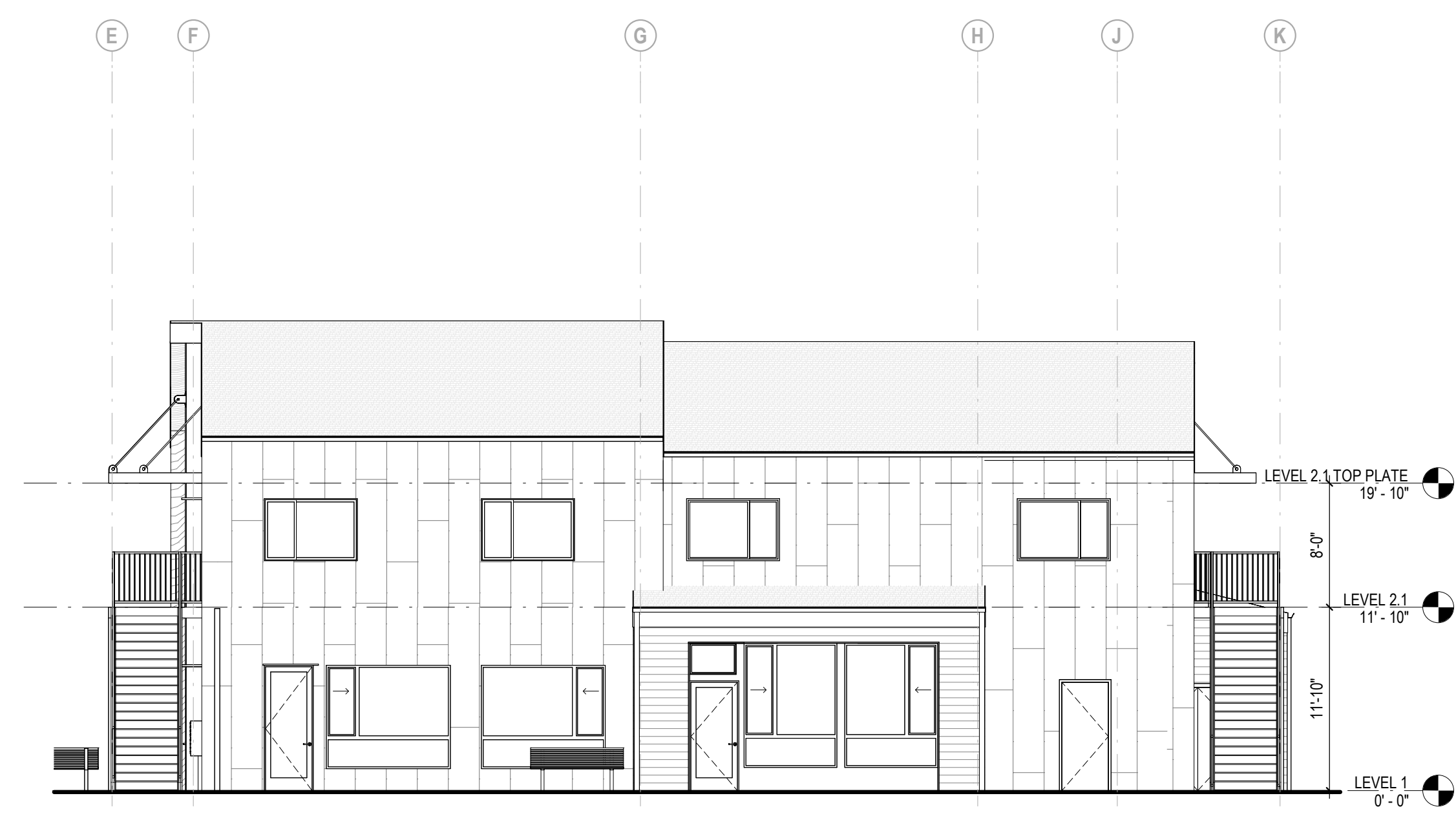
1 BUILDING A - EAST
1/8" = 1'-0"



2 BUILDING A - SOUTH
1/8" = 1'-0"



3 BUILDING A - WEST
1/8" = 1'-0"



4 BUILDING A - NORTH
1/8" = 1'-0"

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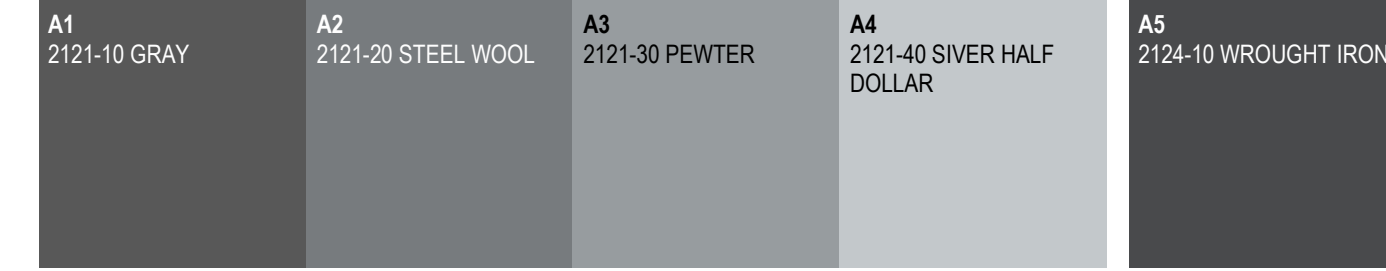
EXTERIOR ELEVATIONS - BUILDING A

SCALE: 1/8" = 1'-0"
DRAWN: RB, AM
CHECKED: KW
PROJECT NO: 2023004.00
SHEET:

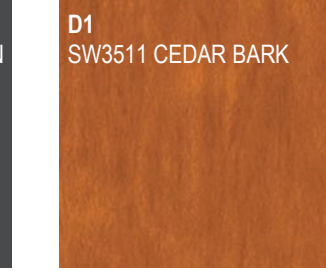
A3.0

EXTERIOR PAINT COLOR SCHEDULE

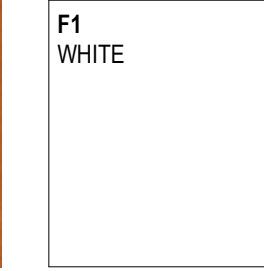
FIELD PAINT SOLID COLORS (BOD BENJAMIN MOORE):



FIELD PAINT WOOD STAIN (BOD SHERWIN WILLIAMS):



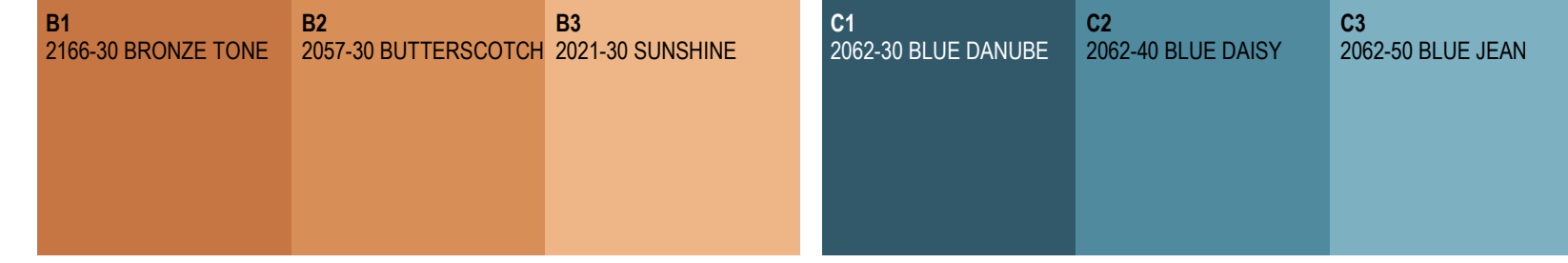
WINDOW FRAME COLOR (BOD MILGARD):



PRE FINISHED METAL (BOD AEP SPAN):



ASPHALT SHINGLE ROOFING (BOD CERTAINTEED LANDMARK SERIES):



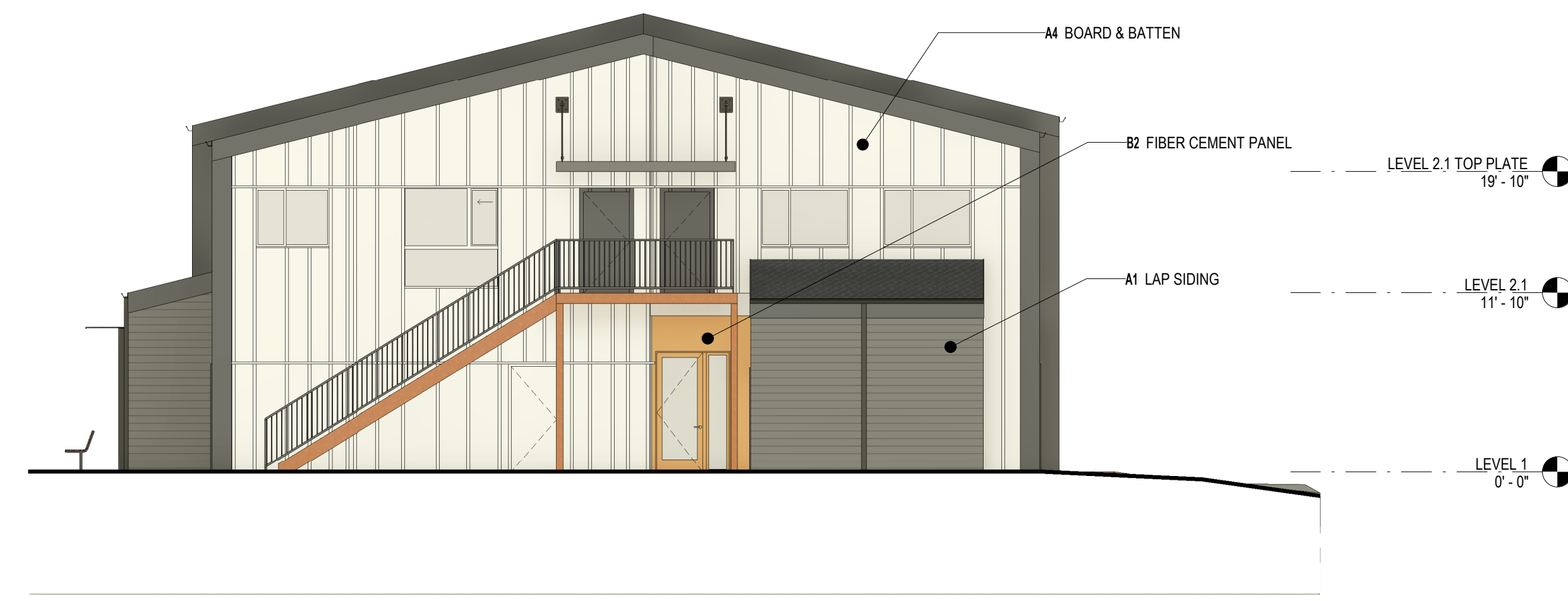
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1 BUILDING A - EAST - COLOR
1/8" = 1'-0"



2 BUILDING A - SOUTH - COLOR
1/8" = 1'-0"



3 BUILDING A - WEST COLOR
1/8" = 1'-0"



4 BUILDING A - NORTH 1 - COLOR
1/8" = 1'-0"

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CONTENTS:
**COLOR
ELEVATIONS -
BUILDING A**
SCALE: 1/8" = 1'-0"
DRAWN: RB, AM
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A3.10



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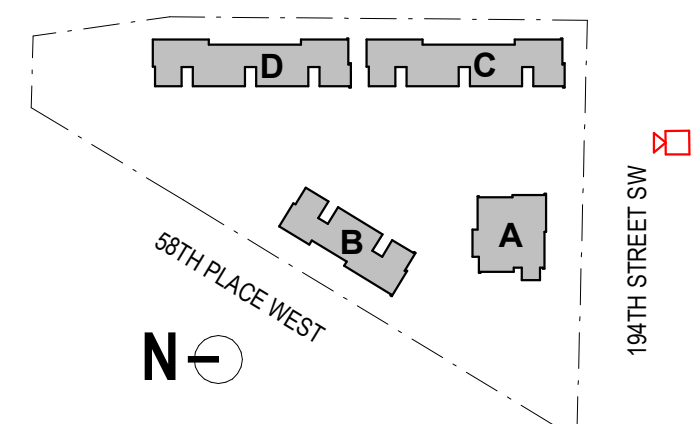
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CONTENTS:

**RENDERING -
BUILDING A
REDESIGN**

SCALE: 1" = 160'-0"
DRAWN: Author
CHECKED: Checker
PROJECT NO: 2023004.00
SHEET:

A3.30



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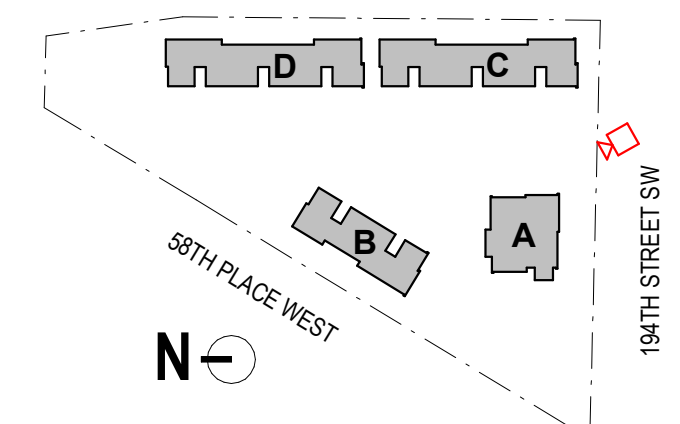
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A3.31





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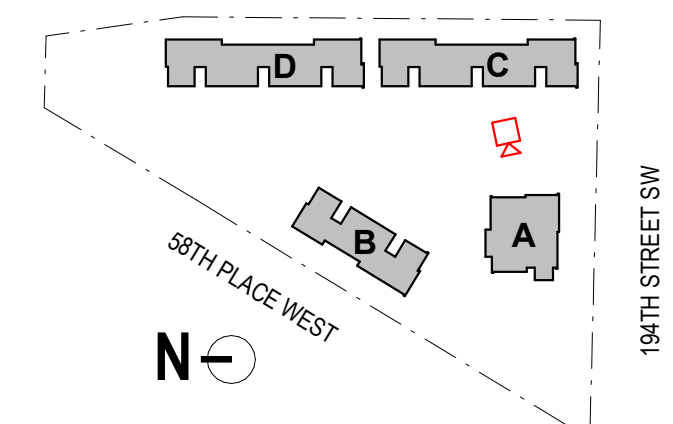
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SHEET:

A3.32





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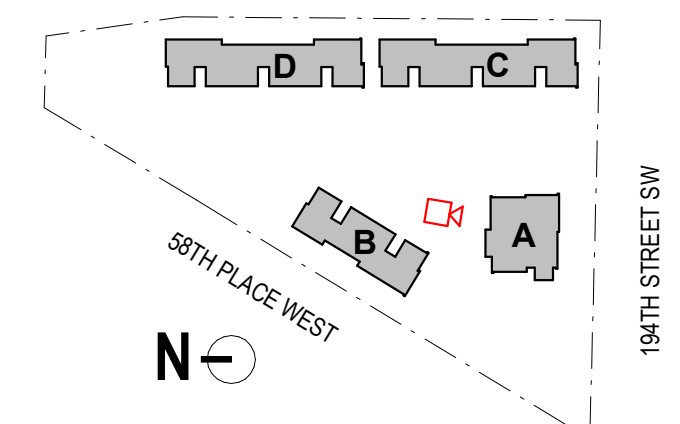
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A3.33





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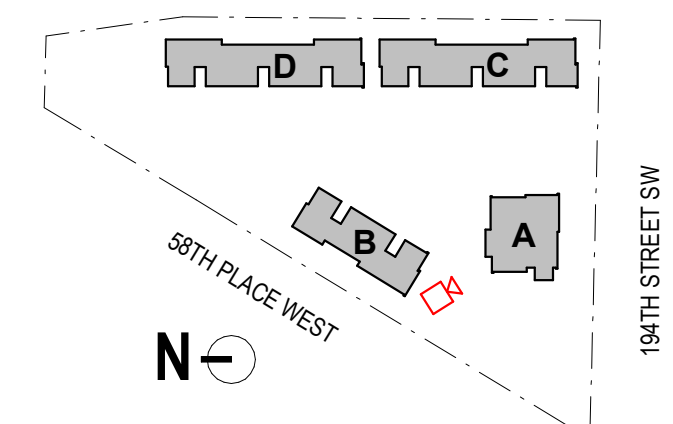
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A3.34





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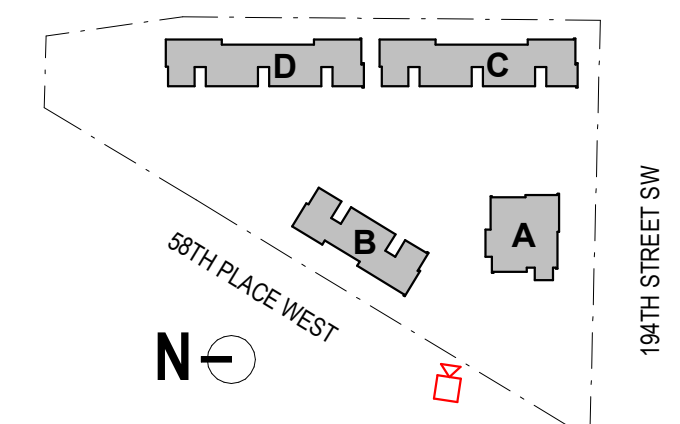
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A3.35





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