

GARDEN SENIOR VILLAGE

6425 196TH ST. SW.
LYNNWOOD, WA 98036

REVISION SCHEDULE	NUMBER	DESCRIPTION	DATE
	1	PDR COMMENTS	9/11/23

GENERAL CONDITIONS

- CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS IN FIELD AND NOTIFY ARCHITECT IF CONDITIONS ARE NOT AS REPRESENTED ON DRAWINGS
- OWNER, ARCHITECT, AND CONTRACTOR TO HAVE REPRESENTATION AT ALL PRE-CONSTRUCTION MEETINGS
- GENERAL CONTRACTOR TO ORGANIZE SUB-CONTRACTOR COORDINATION MEETING WITH ARCHITECT PRIOR TO SUB'S WORK ON SITE
- ALL PARTIES (OWNER, ARCHITECT, CONTRACTOR) TO BE INCLUDED IN COMMUNICATION DURING CONSTRUCTION
- MAINTAIN FIRE RESISTANCE AND SOUND CONTROL VALUES AT ALL PERIMETER EDGES OF WALLS IN CONTACT WITH FLOORS, COLUMNS, BEAMS, ETC.
- ALL INSULATION MATERIALS INSTALLED WITHIN FLOOR-CEILING ASSEMBLIES, ROOF-CEILING ASSEMBLIES, WALLS, CRAWL SPACES OR ATTICS SHALL HAVE A FLAME-SPREAD RATING NOT TO EXCEED 25 AND A SMOKE DENSITY NOT TO EXCEED 450 WHEN TESTED IN ACCORDANCE WITH ASTM E 84 OR UL 723
- ALL CONSTRUCTION TO BE PLUMB, LEVEL AND SQUARE
- SEE STRUCTURAL, CIVIL, LANDSCAPE, MECHANICAL, AND ELECTRICAL DRAWINGS FOR ADDITIONAL NOTES AND SYMBOLS
- EACH CONTRACTOR IS RESPONSIBLE TO VERIFY THE MECHANICAL AND ELECTRICAL DRAWINGS FOR CUTTING AND PATCHING WORK BEYOND THE LIMITS OF THE PROJECT SHOWN ON THE ARCHITECTURAL DRAWINGS
- EACH CONTRACTOR SHALL CONSULT PLANS OF ALL TRADES FOR ALL OPENINGS FOR DUCTS, PIPES, CONDUIT, CABINETS AND EQUIPMENT AND SHALL VERIFY SIZE AND LOCATION
- EACH CONTRACTOR SHALL VERIFY ALL ROUGH-IN DIMENSIONS FOR EQUIPMENT FURNISHED AND INSTALLED BY HIMSELF OR OTHERS
- ALL CONTRACTOR FURNISHED ITEMS SHALL BE SUPPLIED WITH REQUIRED MECHANICAL AND ELECTRICAL SERVICES TO PROVIDE OPERATION OF ITEMS FURNISHED
- ALL RECESSED ELECTRICAL PANELS AND CABINETS AND OTHER RECESSED CABINETS SHALL BE BACKED WITH GYPSUM WALL BOARD TO MAINTAIN THE FIRE RESISTIVE RATING OF THE PARTITION IN WHICH THE UNIT IS INSTALLED
- REFER TO SPECIFICATIONS FOR ACCESS DOORS AND CONSULT WITH MECHANICAL CONTRACTOR FOR EXACT LOCATIONS FOR ACCESS REQUIRED BY THEIR WORK. ACCESS MUST BE PROVIDED FOR ALL CONCEALED VALVES, DAMPER CONTROLS AND FIRE DAMPER LINKAGE. OBTAIN ARCHITECT'S APPROVAL IN LOCATING ACCESS DOORS
- ROOM FINISH SCHEDULE SHALL NOT BE TAKEN AS COMPLETE SPECIFICATION FOR ALL INTERIOR ROOM MATERIALS; HOWEVER, IT SHALL BE BINDING TO THE EXTENT OF THE MATERIAL IT DOES SPECIFY. THE CONTRACTOR SHALL CHECK THE SCHEDULE WITH THE SPECIFICATIONS AND DRAWINGS FOR OTHER MATERIALS NOT COVERED BY THE SCHEDULE
- ROOM AND DOOR NUMBERS SHOWN ON DRAWINGS ARE FOR CONSTRUCTION PURPOSES ONLY
- AT METAL STUD PARTITIONS, STUDS ARE TO EXTEND TO UNDERSIDE OF STRUCTURE, WHERE THEY CANNOT DO SO, DUE TO INTERFERENCES WITH DUCTS, PIPING, ETC., PROVIDE BRACING TO STRUCTURE ABOVE TO PROVIDE FOR EQUIVALENT SUPPORT OF PARTITION
- THE CARPENTRY CONTRACTOR SHALL BUILD IN ALL ROUGH BUCKS FOR GRILLES, REGISTERS, ETC. WHERE REQUIRED
- ALL PIPING, CONDUIT, DUCTS, ETC. SHALL BE FURRED-IN AT ALL FINISHED ROOMS
- ALL WOOD IN CONTACT WITH CONCRETE OR MASONRY SHALL HAVE A PRESERVATIVE TREATMENT
- PLACE NO MAINS, PIPING, CONDUIT OR OBSTRUCTIONS OF ANY KIND SO AS TO IMPAIR GIVEN CEILING HEIGHTS AND CLEARANCES
- PROVIDE BLOCKING/BACKING FOR WALL HUNG CABINETS, FIXTURES OR EQUIPMENT
- ALL SURFACE ATTACHED LADDERS USED ONLY TO ATTEND EQUIPMENT SHALL COMPLY WITH O.S.H.A. REGULATIONS
- REMOVE EXISTING FLOORING WHERE NEW FLOORING IS SCHEDULED
- WHERE EXISTING WORK IS DAMAGED, CUT OR DEFACED AS A RESULT OF PERFORMANCE OF NEW WORK, THE CONTRACTOR IS TO PATCH AND REPAIR SAME TO MATCH ADJOINING SURFACES. REPAIRED FINISHES SHALL BE EXTENDED TO THE NEAREST VISUAL BREAK LINES SUCH AS CORNERS, CEILING LINES, TOP OF BASE, ETC.
- WHERE ITEMS ARE NOTED TO BE REMOVED, IT SHALL MEAN THE COMPLETE REMOVAL OF THE WORK INDICATED AND THE ASSOCIATED PATCHING AND REPAIRING TO MATCH ADJOINING WORK
- DIMENSIONS, IN GENERAL, ARE:
 - A. AT INTERIOR WALLS CENTER OF STUD TO CENTER OF STUD.
 - B. AT CONCRETE WALLS TO THE FACE OF CONCRETE.
 - C. AT MASONRY WALLS TO THE FACE OF MASONRY (NOMINAL).
 - D. AT EXISTING FINISHES TO THE FACE OF FINISH.
 - E. COLUMNS TO COLUMN CENTERLINE OR COLUMN CENTERLINE TO FACE OF STUD.
 - F. EXTERIOR WALLS ARE FACE OF STUD TO FACE OF STUD FOR WOOD/METAL CONSTRUCTION
- ALL DOORS NOT LOCATED BY DIMENSIONS ON PLANS OR DETAILS SHALL BE FOUR AND A HALF INCHES (4 1/2") FROM THE FACE OF INTERSECTING WALL TO EDGE OF DOOR OPENING
- DOOR IDENTIFICATION NUMBER:
 - A. EXISTING DOORS ARE NUMBERED SEPARATELY AND ARE DESIGNATED BY "E."
- DRAWINGS ARE FOR VISUAL COMMUNICATION ONLY. WRITTEN DIMENSIONS GOVERN. DO NOT SCALE DRAWINGS. FOR CONFIRMATION ON DIMENSIONS CONTACT THE ARCHITECT
- BUILDING SHALL BE AIR-BARRIER TESTED IN ACCORDANCE WITH ASTM E779 OR APPROVED EQUIVALENT
- DURING THE COURSE OF WORKING, IF ARTIFACTS OR HUMAN REMAINS ARE DISCOVERED ON SITE, ALL WORK MUST STOP AND JURISDICTION MUST BE CONTACTED

VICINITY MAP

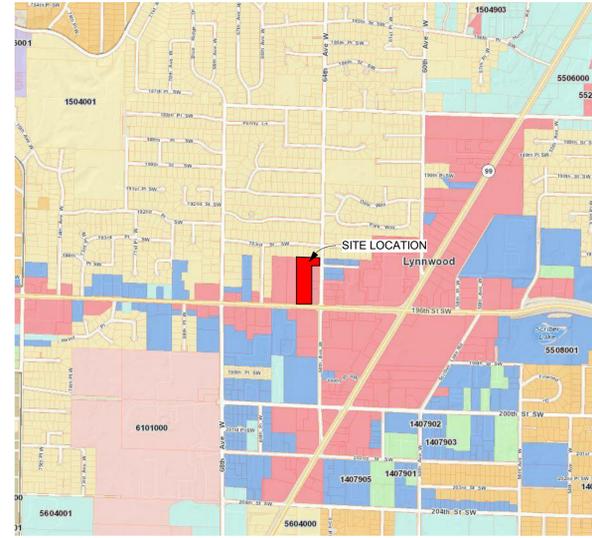


IMAGE COURTESY OF: SNOHOMISH COUNTY S.C.O.P.I. DATE: 1/27/2022



SHEET LIST

- GENERAL
- G0.00 COVERSHEET
 - G2.00 ZONING - SITE REQUIREMENTS
- CIVIL
- C1.0 COVER SHEET
 - C2.0 EXISTING CONDITIONS
 - C3.0 TESC
 - C4.0 TESC DETAILS
 - C5.0 DRAINAGE PLAN
 - C6.0 DRAINAGE DETAILS
 - C7.0 UTILITIES PLAN
 - C8.0 UTILITIES DETAILS
- LANDSCAPE
- L1 LANDSCAPE PLAN
 - L2 LANDSCAPE PLAN ENLARGED SOUTH
 - L3 LANDSCAPE PLAN ENLARGED PARKING
 - L4 LANDSCAPE PLAN ENLARGED NORTH
 - L5 LANDSCAPE DETAILS
- ARCHITECTURE
- A1.00 SITE PLAN
 - A2.20 NORTH ADDITION - GROUND LEVEL
 - A2.21 NORTH ADDITION - UPPER LEVELS
 - A2.23 ELEVATIONS
 - A6.00 SECTIONS

PROJECT INFORMATION

THIS PROPOSAL EXPANDS THE EXISTING GARDEN SENIOR VILLAGE FACILITY TO ALLOW THE EXISTING FACILITY TO RECEIVE BADLY NEEDED REPAIRS TO THE EXISTING PLUMBING SYSTEM. THE NEW ADDITION PROPOSES 36 NEW UNITS IN AN ATTACHED STRUCTURE WHICH HAS BEEN DESIGNED TO MATCH THE EXISTING STRUCTURE IN LOOK AND MATERIAL. THE PROJECT UTILIZES A NEW STORMWATER MANAGEMENT SYSTEM BUT KEEPS THE EXISTING SYSTEM IN PLACE. TREES AS NOTED ON THE LANDSCAPE PLANS ARE PROPOSED TO BE REMOVED FOR THE ADDITION AND THE REQUIRED WIDENING OF THE FIRE ACCESS ROAD.

THE NEW ADDITION WILL UTILIZE THE EXISTING SYSTEMS FOR WATER, HEATING AND ENERGY TO THE LARGEST EXTENT POSSIBLE AND WILL SUBSTITUTE THESE SYSTEMS IN THE SAME WAY AS THE EXISTING STRUCTURE, BY USING THE ROOF FOR SCREENING.

PARCEL #: 27041700401400, 27041700401800
 LEGAL DESCRIPTION: SEC 17 TWP 27 RGE 04 RT-34E) W3/5 OF E1/2 SE1/4 SW1/4 SE1/4 LESS ST HWY VOL 28/309 (EXEMPT PER ST OF WA REG #12837-001)
 SEC 17 TWP 27 RGE 04 RT-34C-1A) N 105.25FT OF E1/5 SE1/4 SW 1/4 SE1/4 LESS E 30FT (EXEMPT PER ST OF WA REG #12837-001)

SECTION TOWNSHIP RANGE: SE 17-27-04
 JURISDICTION: CITY OF LYNNWOOD
 ZONING: NC - NEIGHBORHOOD COMMERCIAL
 FUTURE LAND USE: LC - LOCAL COMMERCIAL

OCCUPANCY CLASS: R-2
 TYPE OF CONSTRUCTION: V-A
 SPRINKLERED: YES NFPA 13

SITE AREA SF/ acre: 3.16 ACRES (137,850 SF)
 BUILDING FOOTPRINT SF: 28,520 sf (20.7% LOT COVERAGE)
 EXISTING: 22,370 SF
 ADDITION: 6,150 SF
 GROSS BUILDING AREA SF: 112,925 SF
 88,325 SF EXISTING
 24,600 SF ADDITION

STORIES ABOVE GRADE
 EXISTING: 4 STORIES
 PROPOSED: 4 STORIES

PROJECT VALUATION: VALUATION HERE

SEE CODE DATA SHEETS FOR BUILDING CODE ANALYSIS AS IT APPLIES TO THIS PROJECT

SEE SITE PLAN FOR MUNICIPAL CODE ANALYSIS AS IT APPLIES TO THIS PROJECT

DEVELOPMENT STANDARDS

STANDARD	D.S. REQ	D.S. PROV
FRONT SETBACK	15-FEET	82-FEET
SIDE SETBACK	0-FEET	21-FEET
REAR SETBACK	50-FEET	76.25-FEET
LOT COVERAGE	35%	20.7%
LOT ARE PER UNIT	1000 SF	871.2 SF
HEIGHT	35-FEET	41-FEET
PARKING	VARIABLES PER UNIT	SEE PARKING CALC SCHEDULE
RECREATION/OPEN SPACE (LMC 21.43.110)	200 SF/UNIT (31,600 sf)	34,889 SF
LANDSCAPING	SEE LMC 21.08	

TOTAL UNITS

BUILDING	Name	Count
EXISTING	1-BEDROOM	109
EXISTING	2 BEDROOM	13
NORTH ADDITION	1-BEDROOM	20
NORTH ADDITION	2 BEDROOM	16
Grand total		158

REQUIRED PARKING

P. Phase	PARKING USE	# OF UNITS	PARKING REQUIRED	SPACES REQUIRED	PARKING PROVIDED
EXISTING	1-BED	109	1.5 PER DWELLING	163.5	91
EXISTING	2-BED	13	1.75 PER DWELLING	22.75	23
NEW	REMOVED	0	0	-30	-30
NEW	1-BED	20	1.5 PER DWELLING	30	12
NEW	2-BED	16	1.75 PER DWELLING	28	10
		158		214.25	106

PROJECT TEAM

OWNER

NORTHWEST HOUSING PRESERVATION GROUP
 958 WALNUT STREET
 LYNNWOOD, WA 98020
 JIM MORINO

OWNERS REPRESENTATION

GSG GROUP INC.
 190 West Dayton, Suite 204,
 Edmonds, WA 98020
 GREG MUMMY
 425-771-9349
 greg@gsggroup.net

ARCHITECT

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 MIKE GARRETT
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 mike.g@gabbertarchitects.com

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 ROBYN MAH
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MEP

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 JON ROBISON
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 jrobison@robisonengineering.com

CIVIL

HARBERT ENGINEERS
 4620 200th St. SW, Suite B
 Lynnwood, WA 98036
 LISA HARBERT
 206-371-3079
 lisaharbert@outlook.com

APPLICABLE CODES

CONSTRUCTION OF THIS PROJECT AND ASSOCIATED DRAWINGS PROVIDED FOR THE CONSTRUCTION BY CONSULTANTS OF THE ARCHITECT OR CONTRACTOR SHALL COMPLY WITH THE FOLLOWING CODES:

- 2018 IBCB
- 2018 IBC
- ASCE7-10, 2009 ICC A117.1, CH. 51-50 WAC,
- 2018 IFG
- 2015 NFPA13, 2015 NFPA72
- 2018 IMC, 2018 UPC, 2018 WSEC
- LYNNWOOD MUNICIPAL CODE

CALL 2 BUSINESS DAYS BEFORE YOU DIG
 1-800-424-5555

RELATED PERMITS

CUP-94-0012 CONDITIONAL USE: AFFORDABLE SENIOR HOUSING
 PRE-009989-2022 PRE-APPLICATION

PERMIT APPROVAL STAMPS

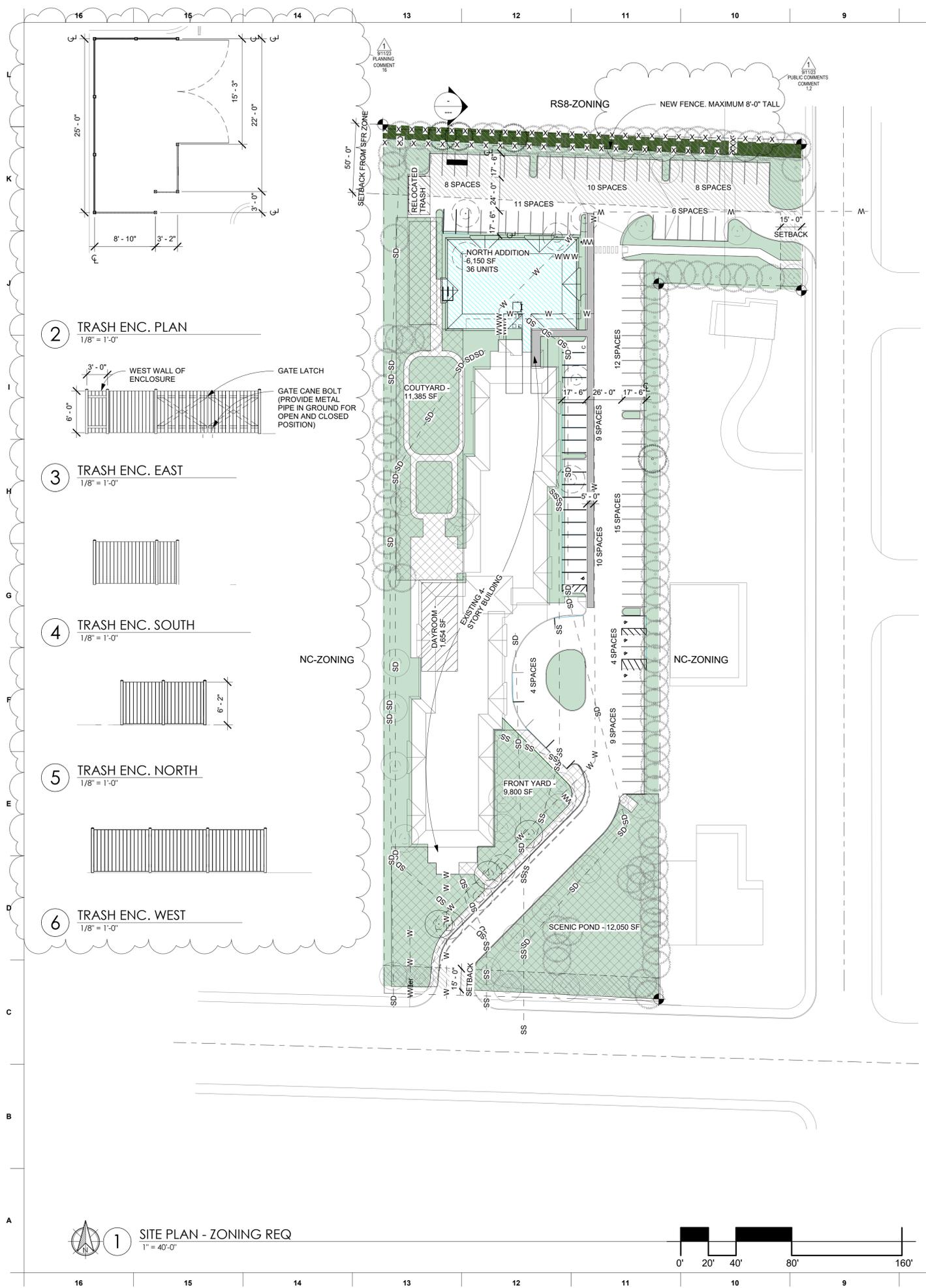


PROJ. NO: 21018
 FEASIBILITY
 DRAWN BY: Author
 CHECKED BY: Checker
 PROJ. ISS. DATE: 9/22/2021
 SCALE: 1/4" = 1'-0"

COVERSHEET

G0.00

9/19/2023 8:55:05 AM



ZONING PLAN LEGEND

- dg LYNNWOOD CITYWIDE DESIGN GUIDELINES
- PROPERTY LINE (WITH CORNER)
- CURB
- BUILDING SETBACKS
- RECREATION / OPEN SPACE
- INTERIOR RECREATION
- LANDSCAPING / NOT HARDSCAPE
- MEDIUM LANDSCAPE BUFFER
- PROPOSED ADDITION

LYNNWOOD MUNICIPAL CODE

PROJECT ZONING: NC - NEIGHBORHOOD COMMERCIAL
 CURRENT USE: SENIOR HOUSING (INSTITUTIONAL PER TABLE 21.46.04)
 PROPOSED USE: SENIOR LIVING (INSTITUTIONAL PER TABLE 21.46.04)
 USE PERMITTED OUTRIGHT

THIS IS AN INDEPENDENT LIVING COMMUNITY AS DEFINED BY LMC 21.02.659 SENIOR HOUSING

21.08 LANDSCAPING
 21.08.300 GENERAL LANDSCAPING STANDARDS
 TOTAL LANDSCAPING PROVIDED IS 55,705 SQ. FT. SEE LANDSCAPE SHEETS FOR NEW INSTALLED LANDSCAPE STANDARDS

21.08.350 PARKING LOT LANDSCAPING
 ADDED PARKING HAS BEEN PROVIDED WITH LANDSCAPE ISLANDS THAT MEET THE REQUIREMENTS FOR THIS SECTION

21.08.400 BUFFER AREA LANDSCAPING STANDARDS
 THERE IS AN EXISTING 10-FOOT BUFFER FOR THE RS-ZONING TO THE NORTH. SEE LANDSCAPE SHEETS FOR COMPLIANCE

21.18 OFF-STREET PARKING
 21.18.800 CAPACITY REQUIREMENTS
 TABLE 21.18.08 - INDEPENDANT LIVING REQUIRES 1 PER 2 LIVING UNITS

	UNITS	REQUIRED	PROVIDED
EXISTING	122	61	114
REMOVED			-29
PROPOSED	36	17	21
TOTAL	158	78	106 (0.65 SPACES PER UNIT)

SEE DEVELOPMENT AGREEMENT WITH TRAFFIC AND PARKING STUDY.

PARKING IS ADDRESSED IN THE DEVELOPMENT AGREEMENT AS IT PERTAINS TO THIS PROJECT AND SITE

21.46 COMMERCIAL ZONES
 21.46.100 PERMITTED USES AND STRUCTURES
 THIS USE IS PERMITTED ACCORDING TO THIS SECTION (TABLE 21.46.04)

21.46.116 LIMITATIONS ON USES - RESIDENTIAL
 MULTI-FAMILY DWELLINGS SHALL PROVIDE A MINIMUM OF 40 SF OF ONSITE RECREATION AREA PER DWELLING
 158 x 40sf = 6,320
 OUR DESIGN PROVIDES FOR 1,654 SQ. FT. OF INDOOR DAYROOM MEETING THE MIN 12' REQUIREMENTS, AND THE REST OF THE REQUIRED SPACE IS EXTERIOR - 33,905 SF

21.46.200 DEVELOPMENT STANDARDS

DEVELOPMENT STANDARDS		
STANDARD	D.S. REQ	D.S. PROV
FRONT SETBACK	15- FEET	82- FEET
SIDE SETBACK	0- FEET	21- FEET
REAR SETBACK	50- FEET	76.25- FEET
LOT COVERAGE	35%	20.7%
LOT ARE PER UNIT	1000 SF	871.2 SF
HEIGHT	35- FEET	41- FEET
PARKING	VARIES PER UNIT	SEE PARKING CALC SCHEDULE
RECREATION/OPEN SPACE (LMC 21.43.110)	200 SF/ UNIT (31,600 sf)	34,889 SF
LANDSCAPING	SEE LMC 21.08	

21.46.210 ADDITIONAL DEVELOPMENT STANDARDS
 A. PARKING - SEE 21.18 ABOVE

21.46.230 OTHER TRANSITIONAL REQUIREMENTS
 THE ZONING TO THE NORTH OF THE DEVELOPMENT IS RS8 (SINGLE FAMILY) THE MINIMUM REAR YARD SETBACK IS 50 FEET

21.46.900 OTHER REGULATIONS
 A. REFUSE AND RECYCLING
 THE TRASH ENCLOSURE IS TO BE RELOCATED. THE NEW LOCATION MEETS THE REQUIRED SETBACK OF 25- FEET FROM THE RS-ZONING TO THE NORTH.
 D. THE PROPOSAL HAS ACCOMMODATIONS FOR THE SURFACE WATER. PLEASE SEE CIVIL PLANS AND REPORTS
 E. ELIMINATION OF NON-CONFORMING USES
 EXISTING USE IS CONFORMING - NOT APPLICABLE

TOTAL UNITS		
BUILDING	Name	Count
EXISTING	1-BEDROOM	109
EXISTING	2 BEDROOM	13
NORTH ADDITION	1-BEDROOM	20
NORTH ADDITION	2 BEDROOM	16
Grand total		158

LMC 21.43.110(H)

OPEN RECREATIONAL SPACE
 REQUIRED: 200SF PER UNIT
 158 UNITS X 200 SF/UNIT = 31,600 SF

PROVIDED
 DAYROOM: 1,654 SF
 SCENIC POND: 12,050 SF
 FRONT YARD: 9,800 SF
 COURTYARD: 11,385 SF
 TOTAL: 34,889 SF

9/11/23 PLANNING COMMENT 12

9/11/23 PLANNING COMMENT 12

PERMIT APPROVAL STAMPS

REVISION SCHEDULE

NUMBER	DESCRIPTION	DATE
1	PDR COMMENTS 1	9/11/23

GABBERT ARCHITECTS
 20011 Ballinger Way NE, Suite 211
 Shoreline, WA 98155
 T: 206.367.3600
 www.gabbertarchitects.com

PROJ. NO: 21018
 FEASIBILITY

DRAWN BY: Author
 CHECKED BY: Checker
 ISSUE DATE: 9/2/2021
 SCALE: As Indicated

ZONING - SITE REQUIREMENTS
G2.00

9/19/2023 8:55:10 AM

PRIVATE DEVELOPER GENERAL NOTES

- ALL WORK AND MATERIALS SHALL BE ACCORDING TO THE LATEST ADDITION OF "STANDARD SPECIFICATIONS FOR ROAD, BRIDGE AND MUNICIPAL CONSTRUCTION" (STANDARD SPECIFICATIONS) PREPARED BY WASHINGTON STATE CHAPTER, AMERICAN PUBLIC WORKS ASSOCIATION (APWA), WASHINGTON STATE DEPARTMENT OF TRANSPORTATION (WSDOT), CITY OF LYNNWOOD (CITY) STANDARD PLANS AND PLAN NOTES, SPECIFICATIONS, ANY CONDITIONS OF APPROVAL AND AS APPROVED BY THE DIRECTOR OF PUBLIC WORKS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE APPLICANT AND THE PROFESSIONAL ENGINEER OF RECORD TO CORRECT ANY ERROR, OMISSIONS, OR VARIATION FROM THE ABOVE REQUIREMENTS FOUND IN THESE PLANS. ALL CORRECTIONS SHALL BE AT NO ADDITIONAL COST OR LIABILITY TO THE CITY.
- CONSTRUCTION IS SUBJECT TO INSPECTION BY THE CITY. ALL WORK WITHIN THE SITE AND CITY RIGHT-OF-WAY SHALL BE SUBJECT TO INSPECTION BY THE CITY'S INSPECTOR. THE CONTRACTOR SHALL NOTIFY THE CITY OF THEIR SCHEDULE IN SUFFICIENT TIME TO PERMIT INSPECTION PRIOR TO AND DURING WORK. INSPECTIONS ARE LIMITED TO WEEKDAYS. FOR ONLINE INSPECTION REQUESTS AND MANAGING PERMITS GO TO HTTP://DBS.LYNNWOOD.GOV TO REGISTER AN ACCOUNT. BEFORE ISSUANCE OF PERMITS, CONSTRUCTION, OR ANY DEVELOPMENT ACTIVITY, A PRECONSTRUCTION MEETING IS REQUIRED BETWEEN THE CITY'S INSPECTOR, THE APPLICANT AND THE APPLICANT'S CONSTRUCTION REPRESENTATIVE. TO SCHEDULE A PRECONSTRUCTION MEETING CONTACT DEVEN@LYNNWOOD.GOV.
- BEFORE ANY ON-SITE MOBILIZATION OR WORK MAY BEGIN, THE CONTRACTOR MUST HAVE AN APPROVED SILL PREVENTION CONTROL AND COUNTERMEASURES (SPCC) PLAN AND AN APPROVED STORM WATER POLLUTION PREVENTION (SWPP) PLAN. SUBMITTALS OF THESE PLANS FOR APPROVAL PRIOR TO THE PRECONSTRUCTION MEETING IS REQUIRED. SEE WSDOT STANDARD SPECIFICATIONS, SECTION 8-10.31.
- WORK NOT READY FOR A REQUESTED INSPECTION UPON THE ARRIVAL OF THE CITY INSPECTOR MUST BE RESCHEDULED FOR INSPECTION AND A RE-INSPECTION FEE MAY BE IMPOSED.
- THE CONTRACTOR SHALL ALWAYS KEEP A PLAN SET ON SITE FOR RECORDING "AS-BUILT" INFORMATION. SEE SECTION 1-05.18 OF THE PROJECT WSDOT STANDARD SPECIFICATIONS FOR RECORD DRAWINGS REQUIREMENTS. A SURVEY SHALL BE PROVIDED AS NECESSARY TO CONFIRM ELEVATIONS, INVERTS AND GRADES FOR THE IMPROVEMENTS INCLUDING UTILITY, ROAD AND PEDESTRIAN IMPROVEMENTS INCLUDING AMERICANS WITH DISABILITIES ACT (ADA) ACCESSIBLE ROUTES PROVIDE THE CITY WITH AN "AS-BUILT" PLAN SET AT THE COMPLETION OF CONSTRUCTION STAMPED AND SIGNED BY A LICENSED SURVEYOR AND/OR THE DESIGN ENGINEER, VERIFYING THE INFORMATION IS ACCURATE. THE "AS-BUILT" PLAN SET SHALL BE PROVIDED IN ELECTRONIC PDF FORMAT.
- THE LOCATION OF EXISTING UTILITIES IS APPROXIMATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL CONTACT THE CITY UTILITIES BUSINESS DAYS MINIMUM PRIOR TO THE BEGINNING OF CONSTRUCTION TO REQUEST UTILITY LOCATIONS. CONFLICTS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER AND PERMITTING AGENCY PER NOTE 3 (ABOVE) AND SHALL BE RESOLVED AS SET FORTH IN SECTION 2-05 POTHOLING OF THE WSDOT STANDARD SPECIFICATIONS PRIOR TO PROCEEDING WITH CONSTRUCTION. SEE SECTION 1-07.6 OF THE WSDOT STANDARD SPECIFICATIONS FOR A NON-INCLUSIVE LIST OF PERMITS KNOWN TO BE REQUIRED FOR THIS PROJECT. PERMITS OBTAINED AND PAID FOR BY THE CITY WILL BE TRANSFERRED TO THE CONTRACTOR AND PICKED UP BY THEM PRIOR TO START OF CONSTRUCTION. THE CONTRACTOR WILL BE REQUIRED TO SHOW A CONTRACTOR'S LICENSE AND A CITY BUSINESS LICENSE BEFORE PERMITS WILL BE ISSUED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL OTHER APPLICABLE PERMITS AND EASEMENTS AS MAY BE REQUIRED BY THE CITY OR OTHER PERMITTING AGENCIES.
- CONSTRUCTION NOISE SHALL BE LIMITED AS PER LYNNWOOD MUNICIPAL CODE (LMC) (SECTION 10.12.300) FROM 7:00 AM TO 6:00 PM (MONDAY THROUGH FRIDAY), WEEKEND WORK IS PROHIBITED UNLESS APPROVED PER LMC10.12.300. SEE ALSO SECTION 1-07.5(5), NOISE CONTROL AND WORK PERFORMED AT NIGHT, IN THE WSDOT STANDARD SPECIFICATIONS.
- DATUM SHALL BE CITY OF LYNNWOOD (NAVDB88) UNLESS OTHERWISE APPROVED BY THE DIRECTOR OF PUBLIC WORKS. THE BENCHMARK SHALL TIE TO THE CITY'S BENCHMARK LIST.
- APPROVAL MUST BE OBTAINED FROM THE CITY DEPARTMENT OF PUBLIC WORKS BEFORE ANY STRUCTURES, FILL OR OBSTRUCTIONS, INCLUDING FENCES, ARE LOCATED WITHIN ANY DRAINAGE EASEMENT, FLOOD PLAIN OR NATIVE GROWTH PROTECTION EASEMENT (NGPE).
- WHERE CONSTRUCTION IS CARRIED OUT IN AREAS NOT SPECIFIED ON THE PLANS AND WHICH HAVE EXISTING IMPROVEMENTS, APPROPRIATE MEASURES SHALL BE TAKEN TO RESTORE SUCH AREAS TO CONDITIONS EXISTING PRIOR TO CONSTRUCTION OR AS REQUIRED BY THE CITY DEPARTMENT OF PUBLIC WORKS.
- OFF-SITE PREMISE STAGING OR STORAGE AREAS SHALL REQUIRE A WRITTEN RELEASE FROM THE AFFECTED PROPERTY OWNER. IN ADDITION, A RELEASE FROM THE CITY SHALL BE REQUIRED DESIGNATING THAT DAMAGE TO CITY PROPERTY IS NEGLIGIBLE OR NON-EXISTENT.
- THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS FOR THE SAFETY OF EMPLOYEES ON THE PROJECT AND SHALL COMPLY WITH ALL APPLICABLE PROVISIONS OF FEDERAL, STATE, AND MUNICIPAL SAFETY LAWS AND BUILDING CODES. THE CONTRACTOR SHALL ERRECT AND PROPERLY MAINTAIN, AT ALL TIMES, AS REQUIRED BY THE CONDITIONS AND PROGRESS OF THE WORK, ALL NECESSARY SAFEGUARDS FOR PROTECTION OF WORKERS AND THE PUBLIC; SHALL POST DANGER SIGNS WARNING AGAINST KNOWN OR UNUSUAL HAZARDS; AND SHALL DESIGNATE A RESPONSIBLE MEMBER OF THEIR ORGANIZATION ON THE CONSTRUCTION SITE WHOSE DUTY SHALL BE THE PREVENTION OF ACCIDENTS.
- THE CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL SIGNS AND DEVICES AS SET FORTH ON THE TRAFFIC CONTROL PLANS PROVIDED WITH THE CONTRACT DRAWINGS OR SUBMIT ALTERNATE TRAFFIC CONTROL PLANS IN ACCORDANCE WITH SECTION 1-10.2(2) OF THE WSDOT STANDARD SPECIFICATIONS. FOR FURTHER NOTES REFERENCE THE LYNNWOOD STANDARD TRAFFIC CONTROL NOTES. 16. IF THE PROJECT IS TIED TO FEDERAL FUNDING REQUIRING THE STEEL BUY AMERICA ACT, ALL STEEL COMPONENTS SHALL MEET THE BUY AMERICA REQUIREMENTS. SUBMIT INFORMATION TO THE CITY FOR REVIEW AND APPROVAL PRIOR TO MATERIAL ORDER.
- AVOID LOCATING STRUCTURES IN THE PEDESTRIAN PATH OF TRAVEL. IF STRUCTURES ARE REQUIRED TO BE LOCATED IN THE PEDESTRIAN PATH OF TRAVEL DUE TO EXISTING CONSTRAINTS, THE STRUCTURES MUST ADHERE TO PROWAG SURFACE REQUIREMENTS: SURFACE OF LIDS OR GRATES MUST BE FIRM, STABLE, AND SLIP RESISTANT (PROWAG R302.7). RIM OF STRUCTURE SHALL BE FLUSH WITH SURROUNDING GRADE. LEVEL CHANGES BETWEEN SURFACES MUST NOT EXCEED 1/4" OR 1/2" WITH A 1:2 BEVEL (PROWAG R302.7.2). GAPS BETWEEN SURFACES OR GRATINGS MAY NOT EXCEED 1/2" (PROWAG R302.7.3). NO LIDS ARE ALLOWED IN CURB RAMPS

STANDARD GRADING NOTES

- GRADING SHALL NOT RESULT IN ANY ADDITIONAL WATER RUNOFF TO ADJOINING PROPERTY. IF ADDITIONAL WATER RUNOFF DOES RESULT, THE APPLICANT WILL SUBMIT A PLAN OF CORRECTIVE ACTION FOR CITY OF LYNNWOOD (CITY) APPROVAL AND WILL COMMENCE WITH THAT ACTION IMMEDIATELY UPON NOTICE FROM THE CITY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING AND REPAIRING EXISTING IMPROVEMENTS, AS REQUIRED, UNTIL CONSTRUCTION IS APPROVED BY THE CITY PUBLIC WORKS DEPARTMENT.
- THE CITY SHALL VERIFY AND APPROVE ALL BACKFILL TRENCHES AND ROADWAY SUBGRADE PRIOR TO PAVING. THE CITY WILL BE PROVIDED WITH THE DENSITY REPORT FROM A CERTIFIED "TESTING LAB" SHOWING SATISFACTORY COMPACTION PER STANDARD SPECIFICATIONS 2-03.3(14)D. ALL SUBGRADE PREPARATORY REQUIREMENTS SHALL CONFORM TO SECTION 2-06 OF THE STANDARD SPECIFICATIONS.
- THE MAXIMUM CUT/FILL SLOPE SHALL NOT EXCEED 2 FEET HORIZONTAL TO 1 FOOT VERTICAL, UNLESS OTHERWISE APPROVED BY THE CITY. AT NO TIME SHALL THE TOE OF ANY FILL SLOPE BE NEARER TO THE PROPERTY LINE THAN 1/2 THE FILL HEIGHT WITH A MINIMUM OF 2 FEET. CUT SLOPES SHALL NOT BE NEARER TO A PROPERTY LINE THAN 1/5 THE HEIGHT OF THE CUT WITH A MINIMUM OF 2 FEET.
- FREQUENCY OF TRENCH COMPACTION LOCATIONS
 - HORIZONTALLY: A MINIMUM OF TWO LOCATIONS EVERY 200 FEET OF TRENCH, OR A MINIMUM OF TWO LOCATIONS PER DAY, WHICHEVER IS MORE FREQUENT SHALL APPLY. ADDITIONAL TESTS MAY BE REQUIRED WHEN VARIATIONS OCCUR DUE TO THE CONTRACTOR'S OPERATIONS, WEATHER CONDITIONS, SITE CONDITIONS, ETC.
 - VERTICAL TESTING SHALL USE THE DEEPEST PORTION OF THE TRENCH LINE TO DETERMINE MINIMUM TESTING DEPTHS AS FOLLOWS:
 - FOR TRENCHES 12'-FEET AND UNDER, COMPLETE A MINIMUM OF ONE TEST AT APPROXIMATELY ONE HALF OF THE TRENCH DEPTH AND AN ADDITIONAL TEST AT OR NEAR THE SURFACE.
 - FOR TRENCHES 12' TO 16'-FEET-DEEP, COMPLETE TESTS AT APPROXIMATELY 4-FOOT INTERVALS ABOVE THE PIPE, ONE TEST AT OR NEAR THE SURFACE, AND ONE TEST APPROXIMATELY HALFWAY IN BETWEEN.
 - FOR TRENCHES GREATER THAN 16'-FEET-DEEP, COMPLETE TESTS AT APPROXIMATELY FOUR-FOOT INTERVALS ABOVE THE PIPE TO THE SURFACE (FOUR TESTS REQUIRED) OR AS DIRECTED BY THE CITY.
 - STRUCTURED AREAS, SUCH AS AN EASEMENT NEAR A BUILDING, SHALL REQUIRE ADDITIONAL TESTING IN THE ZONE OF INFLUENCE FROM THE LICENSED GEOTECHNICAL CONSULTANT SUCH THAT THE COMPACTION SHALL NOT ADVERSELY AFFECT THE NEARBY OR SURROUNDING STRUCTURES.
 - IF COMPACTION DOES NOT MEET THE MINIMUM STANDARDS REQUIRED, ADDITIONAL EXCAVATION AND TESTING AS DIRECTED BY THE CITY SHALL BE COMPLETED. THE CITY RESERVES THE RIGHT TO REQUIRE ADDITIONAL TESTING IN AREAS THAT ARE QUESTIONABLE.
 - COMPACTION TESTING COSTS ARE THE RESPONSIBILITY OF THE CONTRACTOR. COPIES OF ALL TESTING REPORTS SHALL BE PROVIDED TO THE CITY FOR VERIFICATION AND PROJECT RECORDS AND JURISDICTIONAL APPROVALS.

TESC STANDARD NOTES

- APPROVAL OF THIS EROSION AND SEDIMENTATION CONTROL (ESC) PLAN DOES NOT CONSTITUTE AN APPROVAL OF PERMANENT ROAD OR DRAINAGE DESIGN (E.G., SIZE AND LOCATION OF ROADS, PIPES, RESTRICTORS, CHANNELS, RETENTION FACILITIES, UTILITIES, ETC.).
- THE IMPLEMENTATION OF THESE ESC PLANS AND THE CONSTRUCTION, MAINTENANCE, REPLACEMENT, AND UPGRADING OF THESE ESC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ALL CONSTRUCTION IS APPROVED, AND THE POTENTIAL FOR ON-SITE EROSION HAS PASSED.
- THE BOUNDARIES OF THE CLEARING LIMITS SHOWN ON THIS PLAN (INCLUDING INDIVIDUAL TREES TO BE SAVED) SHALL BE CLEARLY FLAGGED IN THE FIELD PRIOR TO CONSTRUCTION. DURING THE CONSTRUCTION PERIOD, NO DISTURBANCE BEYOND THE FLAGGED CLEARING LIMITS SHALL BE PERMITTED. THE FLAGGING SHALL BE MAINTAINED BY THE CONTRACTOR FOR THE DURATION OF CONSTRUCTION.
- THE ESC FACILITIES SHOWN ON THIS PLAN MUST BE CONSTRUCTED AS OUTLINED ON THE TYPICAL CONSTRUCTION SEQUENCE AND IN SUCH A MANNER AS TO ENSURE THAT SEDIMENT LADEN WATER DOES NOT ENTER THE DRAINAGE SYSTEM OR VIOLATE APPLICABLE WATER STANDARDS.
- THE ESC FACILITIES SHOWN ON THIS PLAN ARE THE MINIMUM REQUIREMENTS FOR ANTICIPATED SITE CONDITIONS. DURING THE CONSTRUCTION PERIOD, THESE ESC FACILITIES SHALL BE UPGRADED (E.G., ADDITIONAL SUMPS, RELOCATION OF DITCHES AND SILT FENCES, ETC.) AS NEEDED FOR UNEXPECTED STORM EVENTS.
- CONSTRUCTION ACCESS TO THE SITE SHALL BE ONLY AS SHOWN ON THE APPROVED PLANS. ALL VEHICLES LEAVING THE SITE, ONTO PUBLIC RIGHTS-OF-WAY, SHALL BE CLEANED TO PREVENT "TRACKING" OF MUD, DIRT OR OTHER DEBRIS.
- THE CONTRACTOR SHALL CLEAN ACCESS STREETS AND RIGHT-OF-WAY AT LEAST DAILY OR MORE FREQUENTLY AS MAY BE NECESSARY AND SO DIRECTED BY THE CITY OF LYNNWOOD (CITY). DO NOT CONVEY STREET DEBRIS INTO THE STORM SYSTEM.
- CLEAN OR REMOVE AND REPLACE INLET PROTECTION DEVICES WHEN SEDIMENT HAS FILLED ONE-THIRD OF THE AVAILABLE STORAGE. ALL CATCH BASINS AND CONVEYANCE LINES SHALL BE CLEANED PRIOR TO PAVING. THE CLEANING OPERATION SHALL NOT FLUSH SEDIMENT LADEN WATER INTO THE DOWNSYSTEM SYSTEM.
- STOCKPILES SHALL BE LOCATED IN SAFE AREAS AND ADEQUATELY PROTECTED BY TEMPORARY SECURED PLASTIC COVER, SEEDING OR MULCHING. HYDROSEEDING IS PREFERRED.
- WHERE STRAW MULCH FOR TEMPORARY EROSION CONTROL IS REQUIRED, IT SHALL BE APPLIED AT A MINIMUM THICKNESS OF 2 INCHES.
- ANY AREA STRIPPED OF VEGETATION, INCLUDING ROADWAY EMBANKMENTS, WHERE NO FURTHER WORK IS ANTICIPATED FOR A PERIOD OF 2 DAYS BETWEEN OCTOBER 1st TO MAY 31st OR 7 DAYS BETWEEN JUNE 1st TO SEPTEMBER 30th, SHALL BE IMMEDIATELY STABILIZED WITH THE APPROVED ESC METHODS (E.G., SEEDING, MULCHING, NETTING, EROSION BLANKETS, ETC.).
- VEGETATION SHALL BE ESTABLISHED ON AREAS DISTURBED OR ON AREAS OF CONSTRUCTION AS NECESSARY TO MINIMIZE EROSION. AREAS TO BE ROUGH GRADED WITH FINISHED GRADING TO FOLLOW NEAR PROJECT COMPLETION ARE TO BE SEEDED WITH ANNUAL, PERENNIAL OR HYBRID RYE GRASS. THIS ALSO INCLUDES PERIMETER DIKES AND THE SEDIMENT BASIN EMBANKMENT. HYDROSEEDING IS PREFERRED.
- IMMEDIATELY FOLLOWING FINISH GRADING, PERMANENT VEGETATION WILL BE APPLIED AS APPROVED PER THE APPROVED PLANS, CURRENT WASHINGTON STATE DEPARTMENT OF TRANSPORTATION (WSDOT) STANDARDS AND SPECIFICATIONS AND THE CITY REQUIREMENTS.
- ADDITIONAL BEST MANAGEMENT PRACTICES (BMP) MAY BE REQUIRED AT ANY TIME DURING CONSTRUCTION.

STORM DRAINAGE NOTES

- REFER TO THE LATEST EDITION OF THE STORMWATER MANAGEMENT MANUAL FOR WESTERN WASHINGTON (SWMMWW) FOR DEVELOPMENT REQUIREMENTS.
- ALL REQUIRED STORM WATER RETENTION/DETENTION FACILITIES SHALL BE CONSTRUCTED AND OPERABLE PRIOR TO PAVING AND BUILDING CONSTRUCTION UNLESS OTHERWISE APPROVED BY THE CITY OF LYNNWOOD (CITY) DEPARTMENT OF PUBLIC WORKS.
- CONNECTIONS TO STORM CATCH BASINS AND MANHOLES SHALL BE SEALED WATER TIGHT WITH NON-SHRINK GROUT OR KOR-N-SEAL® TYPE CONNECTIONS.
- ALL PIPES WITHIN THE PUBLIC RIGHT-OF-WAY SHALL MEET CURRENT WASHINGTON STATE DEPARTMENT OF TRANSPORTATION (WSDOT) AND AMERICAN PUBLIC WORKS ASSOCIATION (APWA) STANDARDS AND SPECIFICATIONS AND/OR AS APPROVED BY THE DIRECTOR OF PUBLIC WORKS AND SHALL BE INSTALLED PER WSDOT SPEC 7-08.
- TRENCH BACKFILL SHALL MEET THE REQUIREMENTS OF CITY STANDARD PLAN ST-TRE-3.
- REFER TO WATER STANDARD DETAILS SPECIFIC TO THRUST RESTRAINT FOR ANY STORMWATER FORCE MAINS.
- WHERE SHOWN ON THE PLANS OR DIRECTED BY THE ENGINEER OR DIRECTOR OF PUBLIC WORKS, THE EXISTING MANHOLES, CATCH BASINS, OR INLETS SHALL BE ADJUSTED TO THE GRADE AS STAKED. ALL PIPE AND STRUCTURES SHALL BE STAKED FOR SURVEY LINE AND GRADE PRIOR TO THE START OF CONSTRUCTION. ALL CONFLICTS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER AND CITY PRIOR TO COMMENCING CONSTRUCTION.
- ALL STORMWATER CATCH BASINS WITH A DEPTH OVER 5 FEET TO FLOW LINE, SHALL BE TYPE 2 STRUCTURES PER CURRENT WSDOT/APWA STANDARDS. ALL TYPE 1 AND 2 STRUCTURES SHALL BE PROVIDED WITH 3 LOOKING BOLTS. LADDER ACCESS IS REQUIRED ON ALL TYPE 2 STRUCTURES, WHEN 4 FEET OR GREATER IN DEPTH AS MEASURED TO THE INSIDE FINISH FLOOR, OR AS APPROVED BY THE CITY.
- COMPACTION TESTING FOR TRENCHES SHALL BE PER GRADING STANDARD NOTES.
 - PROVIDE A 6-INCH STYROFOAM BLOCK BETWEEN INSTALLED STORMWATER PIPES AND ALL OTHER UTILITIES WITHIN 6 INCHES OF THE STORMWATER PIPE.
 - ALL STORMWATER PIPES SHALL BE ABANDONED PER WSDOT 7-08.3(4). ALL STORMWATER CATCH BASINS AND MANHOLES SHALL BE ABANDONED PER WSDOT 7-05.3(2).
 - DEVELOPER TO PROVIDE A CERTIFIED ELECTRONIC VIDEO RECORD OF STORM DRAINAGE CONSTRUCTION AFTER FINAL CLEANING; FINAL CLEANING AS REQUIRED PER WSDOT SPECIFICATIONS 7-04.3(1) AND AS DIRECTED BY THE CITY PUBLIC WORKS INSPECTOR.
 - DRAINAGE OUTLETS (STUB-OUTS) SHALL BE PROVIDED FOR EACH INDIVIDUAL LOT, UNLESS OTHERWISE APPROVED BY THE CITY. STUB-OUTS SHALL CONFORM TO THE FOLLOWING AND AS DIRECTED BY THE CITY DEPARTMENT OF PUBLIC WORKS:
 - each outlet shall be suitably located at the lowest elevation on the lot, so as to service all future roof downspouts and footing drains, driveways, yard drains, and any other surface or subsurface drains necessary to render the lots suitable for their intended use;
 - each outlet shall have free flowing, positive drainage to an approved storm water conveyance system, or an approved outfall location.
 - outlets on each lot shall be located with a pressure treated two-by-four. each marker board shall be clearly identifiable, protected and stubbed 5 feet above the finish grade;
 - all pipe material shall be minimum 4" in size with a smooth wall interior and conform to the approved plans and/or current WSDOT/APWA standards and specifications. material shall be corrugated polyethylene or polyvinyl chloride. corrugated metal pipe is not allowed. all substitutions are subject to approval by the engineer and city director of public works, prior to construction.
 - a 12-gauge tracer wire shall be installed as required by the city public works inspector. tracer tape is not an acceptable alternative to tracer wire. see detail ST-TRE-3 FOR WIRE AND TAPE REQUIREMENTS.
 - drainage easements are required for drainage systems designed to convey flows through individual lots. verification and approval are required prior to construction.
 - the applicant/contractor is responsible for coordinating the locations of all stub-out conveyance lines with respect to the utilities (e.g., power, gas, telephone, television).
 - all individual stub-outs shall be privately owned and maintained by the lot homeowner.
 - FOR RESIDENTIAL STORMWATER DESIGN DETAILS REFER TO THE LATEST EDITION OF THE SWMMWW:
 - v-3 DISPERSION BEST MANAGEMENT PRACTICE (BMP)
 - b-4 ROOF DOWNSPOUT BUMPS
 - v-5 INFILTRATION BUMPS
 - v-6 FILTRATION BUMPS

FIRE GENERAL NOTES

- FIRE DEPARTMENT CONNECTIONS (REFERENCE STANDARD DETAIL F-4)
 - SHALL BE INSTALLED READING FROM THE BUILDING ADDRESS OR AS APPROVED BY THE FIRE CODE OFFICIAL.
 - LOCATED OUTSIDE ALL PEDESTRIAN PATHS OF TRAVEL, WITH MINIMUM 6-INCH CLEARANCE FROM EDGE OF PATH TO RISER.
 - LOCATED OUT OF THE COLLAPSE ZONE, OR AS APPROVED BY THE FIRE CODE OFFICIAL.
 - IN AN APPROVED LOCATION ALONG A PUBLIC STREET OR FIRE APPARATUS ACCESS ROAD.
 - INTERNATIONAL FIRE CODE (IFC) 912.2.1 VISIBLE LOCATION; FIRE DEPARTMENT CONNECTIONS SHALL BE LOCATED ON THE STREET SIDE OF BUILDINGS OR FACINGS APPROVED FIRE APPARATUS ACCESS ROADS, FULLY VISIBLE AND RECOGNIZABLE FROM THE STREET, FIRE APPARATUS ACCESS ROAD OR NEAREST POINT OF FIRE DEPARTMENT VEHICLE ACCESS OR AS OTHERWISE APPROVED BY THE FIRE CODE OFFICIAL.
 - LOCATED WITHIN 50 FEET OF A FIRE HYDRANT.
 - IFC 912.4.4 IMMEDIATE ACCESS TO FIRE DEPARTMENT CONNECTIONS SHALL BE MAINTAINED AT ALL TIMES AND WITHOUT OBSTRUCTION BY FENCES, BUSHES, TREES, WALLS OR ANY OTHER FIXED OR MOVEABLE OBJECT. ACCESS TO FIRE DEPARTMENT CONNECTIONS SHALL BE APPROVED BY THE FIRE CODE OFFICIAL.
 - SHALL BE EQUIPPED WITH A 4-INCH STORZ ADAPTER AND A 30/120 DEGREE DOWNTURN.
 - BE PAINTED RED AND LABELED WITH THE BUILDING ADDRESS.
 - FURTIAL SYSTEMS SHALL INDICATE THE AREA COVERED BY THE SYSTEM.
 - BE PROVIDED WITH ADDITIONAL SIGNAGE AS REQUIRED BY NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) 13.
 - ALL EXISTING 2-1/2-INCH "Y" FITTINGS WILL BE UPGRADED UPON BUILDING IMPROVEMENTS TO THE STORZ TYPE CONNECTION.
 - IFC 912-2.2; WHEREVER THE FIRE DEPARTMENT CONNECTION IS NOT VISIBLE TO APPROACHING FIRE APPARATUS, THE FIRE DEPARTMENT CONNECTION SHALL BE INDICATED BY AN APPROVED SIGN MOUNTED ON THE STREET FRONT OR ON THE SIDE OF THE BUILDING. SUCH SIGN SHALL HAVE THE LETTERS "FDC" AT LEAST 6 INCHES (152 MM) HIGH AND WORDS IN LETTERS AT LEAST 2 INCHES (51 MM) HIGH OR AN ARROW TO INDICATE THE LOCATION. ALL SUCH SIGNS SHALL BE SUBJECT TO THE APPROVAL OF THE FIRE CODE OFFICIAL.
 - IFC 912-2 LOCATION; WITH RESPECT TO HYDRANTS, DRIVEWAYS, BUILDINGS AND LANDSCAPING, FIRE DEPARTMENT CONNECTIONS SHALL BE LOCATED THAT FIRE APPARATUS AND HOSES CONNECTED TO SUPPLY THE SYSTEM WILL NOT OBSTRUCT ACCESS TO THE BUILDINGS FOR OTHER FIRE APPARATUS. THE LOCATION OF FIRE DEPARTMENT CONNECTIONS SHALL BE APPROVED BY THE FIRE CODE OFFICIAL.
 - IFC 912-4.2 CLEAR SPACE AROUND CONNECTIONS: A WORKING SPACE OF NOT LESS THAN 36 INCHES (914 MM) IN WIDTH, 36 INCHES (914 MM) IN DEPTH AND 78 INCHES (1981 MM) IN HEIGHT SHALL BE PROVIDED AND MAINTAINED IN FRONT OF AND TO THE SIDES OF WALL-MOUNTED FIRE DEPARTMENT CONNECTIONS AND AROUND THE CIRCUMFERENCE OF FREE-STANDING FIRE DEPARTMENT CONNECTIONS, EXCEPT AS OTHERWISE REQUIRED OR APPROVED BY THE FIRE CODE OFFICIAL.
 - IFC 912.4.3 PHYSICAL PROTECTION: WHERE FIRE DEPARTMENT CONNECTIONS ARE SUBJECT TO IMPACT BY A MOTOR VEHICLE, VEHICLE IMPACT PROTECTION SHALL BE PROVIDED IN ACCORDANCE WITH SECTION 312 OF IFC 912.4.3. SEE STANDARD DETAIL F-2.
 - IFC 912.5 SIGNS: A METAL SIGN WITH RAISED LETTERS NOT LESS THAN 1 INCH (25 MM) IN SIZE SHALL BE MOUNTED ON ALL FIRE DEPARTMENT CONNECTIONS SERVING AUTOMATIC SPRINKLERS, STANDPIPES OR FIRE PUMP CONNECTIONS. SUCH SIGNS SHALL READ: "AUTOMATIC SPRINKLERS" OR "STANDPIPES" OR "FIRE CONNECTION" OR A COMBINATION THEREOF AS APPLICABLE. WHERE THE FIRE DEPARTMENT CONNECTION DOES NOT SERVE THE ENTIRE BUILDING, A SIGN SHALL BE PROVIDED INDICATING THE PORTIONS OF THE BUILDING SERVED.
 - FIRE ACCESS ROADS
 - DETAILED PLANS MUST BE SUBMITTED, AND APPROVED, PRIOR TO PAINTING ANY NEW FIRE LANE OR REKEYING ANY EXISTING FIRE LANE.
 - DIMENSIONS: MINIMUM 10 FEET WIDE OR MINIMUM VERTICAL CLEARANCE OF 13 FEET, 6 INCHES. MINIMUM TURNING RADIUS: 25 FEET INSIDE, 45 FEET OUTSIDE.
 - LOCATION: REQUIRED 26 FEET WIDE ROADS MUST BE A MINIMUM OF 15 FEET AND A MAXIMUM OF 30 FEET FROM THE BUILDING. PROVIDE ACCESS TO WITHIN 50 FEET OF THE FRONT OF ANY MULTI-FAMILY RESIDENTIAL BUILDING AND PROVIDE ACCESS TO WITHIN 150 FEET OF ANY PORTION OF ANY BUILDING. PROVIDE ACCESS TO ALL ON-SITE FIRE HYDRANTS AND FIRE DEPARTMENT CONNECTIONS (FDC). A HYDRANT IS REQUIRED WITH 50 FEET OF ANY FIRE DEPARTMENT CONNECTION (FDC) AND MUST BE NOT BLOCK ACCESS WHEN CONNECTED.
 - ADDITIONAL REQUIREMENTS: BE CIRCULATING OR HAVE AN APPROVED TURN-AROUND IF OVER 150 FEET (REFERENCE STANDARD DETAIL F-5). HAVE GRADES OF 14 PERCENT OR LESS; GRADES GREATER THAN 12 PERCENT REQUIRES ADDITIONAL FIRE PROTECTION FEATURES.
 - BE PAVED WITH ASPHALT OR APPROVED EQUIVALENT.
 - BE CAPABLE OF SUPPORTING THE IMPOSED LOADS APPARATUS, 75,000 POUNDS GROSS VEHICLE WEIGHT (GVW), 45,000 POUNDS POINT LOAD.
 - BE MARKED WITH WORDS "FIRE LANE - NO PARKING"; WORDS TO BE PAINTED ON THE PAVEMENT WITH LETTERS A MINIMUM 12 INCHES HIGH AND YELLOW IN COLOR. AS AN ALTERNATIVE, THE CURB MAY BE PAINTED YELLOW IN COLOR WITH THE WORDS "FIRE LANE - NO PARKING" PAINTED IN BLACK WITH A MINIMUM 3/8-INCH STROKE AND 3 INCHES HIGH.
 - HAVE PERIMETER STRIPING/CURBING TO DELINEATE THE BOUNDARIES OF THE FIRE LANE. STRIPING TO BE A MINIMUM OF 4 INCHES WIDE AND STRIPING/CURBING TO BE YELLOW IN COLOR AND ALTERNATELY SPACED EVERY 25 FEET.
 - WHEN APPROVED BY THE FIRE CODE OFFICIAL, SIGNS MAY BE USED IN ADDITION TO OR IN LIEU OF PAINTING THE PAVEMENT SIGNS, WHEN APPROVED. SHALL MEET THE FOLLOWING REQUIREMENTS:
 - SIZE: 18 INCHES HIGH BY 12 INCHES WIDE (MINIMUM).
 - MOUNTING: BOTTOM OF SIGN 48 INCHES TO 60 INCHES ABOVE GRADE.
 - STYLE: INDUSTRY STANDARD (VULCAN R7-6-9, RAINBOW 01-527, EMED TC 18816 OR EQUIVALENT).
 - COLOR: RED LETTERING ON WHITE BACKGROUND.
 - SPACING: 50 FEET BETWEEN SIGNS OR AS DIRECTED BY THE FIRE CODE OFFICIAL.
 - FIRE LANE STANDARDS FOR CENTER ZONES DIFFER FROM THE ABOVE; PLEASE CONTACT THE FIRE MARSHAL'S OFFICE FOR ADDITIONAL INFORMATION.

SEWER STANDARD NOTES

- ALL SANITARY SEWER PIPE, MATERIALS, AND MANHOLES SHALL CONFORM WITH CURRENT APPLICABLE AMERICAN PUBLIC WORKS ASSOCIATION (APWA) AND WASHINGTON STATE DEPARTMENT OF TRANSPORTATION (WSDOT) STANDARDS AND SPECIFICATIONS, CITY OF LYNNWOOD (CITY) STANDARD PLANS AND PLAN NOTES, SPECIFICATIONS, ANY CONDITIONS OF APPROVAL AND AS APPROVED BY THE DIRECTOR OF PUBLIC WORKS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE APPLICANT AND THE PROFESSIONAL ENGINEER OF RECORD TO CORRECT ANY ERROR, OMISSIONS, OR VARIATION FROM THE ABOVE REQUIREMENTS FOUND IN THESE PLANS. ALL CORRECTIONS SHALL BE AT NO ADDITIONAL COST OR LIABILITY TO THE CITY.
- TRENCH BACKFILL FOR SANITARY SEWERS SHALL BE IN ACCORDANCE WITH CITY STANDARD PLAN ST-TRE-3.
- COMPACTION TESTING FOR TRENCHES SHALL BE PER GRADING STANDARD NOTES.
- ALL SIDE SERVICES SHALL BE INSTALLED PER SECTION 7-18 OF THE MOST CURRENT EDITION OF THE WSDOT STANDARD SPECIFICATIONS FOR ROAD, BRIDGE AND MUNICIPAL CONSTRUCTION.
- REFER TO WATER STANDARD DETAILS SPECIFIC TO THRUST RESTRAINT FOR ANY SEWER FORCE MAINS.
- SEWER MAINS SHALL BE PVC PIPE THAT IS 6-INCH DIAMETER OR LESS SHALL BE STANDARD DIMENSION RATIO (SDR) 35. PIPE 8-INCH DIAMETER AND LARGER SHALL BE SDR 26. ALL FITTINGS SHALL BE EQUIVALENT OR STRONGER SDR RATING.
 - A 1.5 PERCENT MINIMUM UNIFORM GRADE.
 - LAY SPACE OF 2 FEET BETWEEN BENDS, OR AS APPROVED BY THE CITY INSPECTOR.
 - ALL FIELD BENDS NOT TO EXCEED 2 INCHES PER FOOT DEFLECTION.
 - CLEANING AND TESTING PER SECTION 7-17.3(2) OF THE WSDOT STANDARD SPECIFICATIONS.
 - A 12-GAUGE TRACER WIRE SHALL BE INSTALLED AS REQUIRED BY THE CITY PUBLIC WORKS INSPECTOR. TRACER TAPE IS NOT AN ACCEPTABLE ALTERNATIVE TO TRACER WIRE. SEE DETAIL ST-TRE-3 FOR WIRE AND TAPE REQUIREMENTS.
 - ALL COUPLERS, FITTINGS, ADAPTERS, AND CONNECTIONS SHALL BE SUBJECT TO THE APPROVAL OF THE PUBLIC WORKS INSPECTOR.
- ALL VERTICAL AND HORIZONTAL CONTROL FOR CONSTRUCTION STAKING SHALL BE PERFORMED UNDER THE DIRECTION OF A PROFESSIONAL LAND SURVEYOR OR ENGINEER. ALL CONSTRUCTION STAKING SHALL BE INSTALLED AND VERIFIED FOR GRADE AND ALIGNMENT PRIOR TO THE START OF CONSTRUCTION.
- ALL CONNECTIONS TO A NEW OR EXISTING SEWER LINE SHALL BE PERFORMED IN A MANNER THAT WILL PREVENT ANY FOREIGN MATERIALS FROM ENTERING EXISTING SEWERS.
- CONNECTIONS TO SEWER MANHOLES SHALL BE SEALED WITH NON-SHRINK GROUT OR KOR-N-SEAL® TYPE CONNECTIONS.
- SEPTIC SYSTEMS SHALL BE DESIGNED BY A LICENSED SEPTIC DESIGNER OR LICENSED PROFESSIONAL ENGINEER.

SEWER STANDARD NOTES CONTD

- DECOMMISSIONING SEPTIC SYSTEMS SHALL INCLUDE THE EXISTING SEPTIC MOUND SYSTEM, SEPTIC TANKS, ELECTRICAL PUMPS, AND PIPES PER SPOKHOUSH COUNTY, AND WASHINGTON STATE BUILDING REQUIREMENTS. THIS INCLUDES ABANDONING SEPTIC TANKS PER WASHINGTON ADMINISTRATIVE CODE (WAC) 246-272A-0300. ELECTRICAL WRING AND APPURTENANCES SHALL BE REMOVED. OPEN ENDS OF PIPES AND CONDUITS SHALL BE CAPPED OR PLUGGED WITH NON-SHRINK GROUT.
- ALL ABANDONED SEWER PIPES SHALL BE COMPLETELY FILLED WITH CONTROLLED DENSITY FILL. ALL SEWER MANHOLES SHALL BE ABANDONED PER WSDOT 7-05.3(2).
- SEWER MANHOLES SHALL BE ABANDONED WITH 30 INCHES OF NEWLY CONCRETED 8 INCH AND LARGER SEWER MAINS TO THE CITY FOR REVIEW AND APPROVAL. ACCEPTANCE OF THE SEWER MAIN IS SUBJECT TO CITY STAFF REVIEW AND APPROVAL OF THE VIDEO.

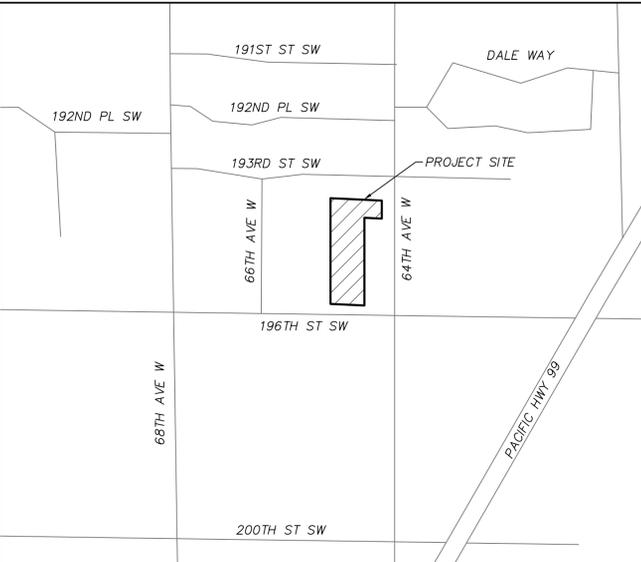
TEMPORARY TRENCH PATCHING NOTES

- IF TRENCH WORK IS COMPLETED IN A SINGLE DAY, IT MUST BE BACKFILLED AND SURFACE RESTORED PER APPLICABLE UTILITY PLAN UNLESS APPROVED BY CITY PUBLIC WORKS. IF TRENCH WORK GOES OVER A DAY, STEEL PLATING IS REQUIRED. REFERENCE CITY STANDARD PLAN ST-TRE-6.
- ALL DIMENSIONS BASED ON STABLE TRENCH. STABILITY TO BE DETERMINED BY DESIGN ENGINEER.
- PLATES SHALL BE AMERICAN SOCIETY FOR TESTING AND MATERIALS (ASTM) A36 MIN. STEEL, FINAL YIELD (FY) EQUALS 36 KIPS PER SQUARE INCH (KSI). PLATES MUST BE CAPABLE OF WITHSTANDING, AT MINIMUM, AMERICAN ASSOCIATION OF STATE HIGHWAY AND TRANSPORTATION OFFICIALS (AASHTO) HS-20 LOADING.
- PLATES SHALL REQUIRE ANCHORAGE REGARDLESS OF SLOPE OR SPEED. FLANGES OR ANGLE IRONS MUST BE WELDED TO THE PLATE UNDERSIDE CONFORMING TO THE SIZE OF THE STREET OPENING TO ENSURE THE PLATE DOES NOT MOVE RELATIVE TO THE OPENING.
- PLATES MUST BE PLACED WITH POSITIVE CONTACT ON ALL SUPPORTING SURFACES TO PREVENT ACCIDENTAL MOVEMENT FROM TRAFFIC DEFLECTION (COLD PATCH CAN BE USED TO DISPLACE ANY VOIDS BETWEEN PLATE AND SUPPORTING SURFACE).
- IN GENERAL, WHERE A STEEL PLATE COVERS AN EXCAVATION OR OPENING, THE CONTRACTOR MUST FIRST SUPPORT THE PLATE UNDERSIDE CONFORMING TO ALL TRAFFIC LOADINGS. REMAINING PLATE OPENING DOES NOT ROCK, DOES NOT GENERATE NOISE, AND IS FULLY SUPPORTED FOR THE LENGTH OF TIME THE PLATE IS IN-PLACE.
- WHERE SPANS ARE EXCESSIVELY LONG OR WHERE MULTIPLE STEEL PLATES ARE REQUIRED TO COVER A LONG SPAN, ADEQUATE ADDITIONAL SUPPORT BENEATH THE PLATES MUST BE PROVIDED, SUCH AS BRACED STEEL BEAMS. THE SPACE BETWEEN THE STEEL BEAM AND THE PLATE MUST BE COVERED WITH A MATERIAL, SUCH AS AN OLD CARPET, TO PREVENT RATTLING AND NOISE.
- ALL STEEL PLATES MUST BE BEDDED ON TEMPORARY PAVEMENT PATCH MATERIAL OR OTHER SUITABLE MATERIAL THAT EXTENDS BEYOND THE PLATE'S EDGE TO FORM A TAPERED TRANSITION (SHIM). THE TAPER MUST PROVIDE A SMOOTH, GRADUAL TRANSITION BETWEEN PAVEMENT AND THE PLATE AT LEAST 18 INCHES IN LENGTH TO ACCOMMODATE WHEELCHAIR, BICYCLE, AND OTHER TRAFFIC.
- SAFETY ORANGE PAINT (FEDERAL STANDARD 595 COLOR 595 F 12246 OR APPROVED EQUAL) MUST BE USED FOR:
 - HIGHLIGHTING THE EDGES OF ALL PLATES, 12-INCH MINIMUM WIDTHS.
 - HIGHLIGHTING ALL TAPERED TRANSITION SHIMS WITH PAINT STRIPES APPROXIMATELY 2 INCHES WIDE ON 16-INCH CENTER.
- WHEN APPROVED BY THE ENGINEER, THE CONTRACTOR MUST USE STEEL PINS WELDED AT THE CORNERS OF THE PLATE. WHEN PINS ARE USED, HOLES MUST BE DRILLED THROUGH AN OPENING IN THE PLATE FULL DEPTH INTO UNDERLYING PAVEMENT STRUCTURE. THE PINS MUST BE LONG ENOUGH TO BE DRIVEN FULL DEPTH OF PAVEMENT AND BE OF CROSS-SECTION TO BE SNUG IN THE HOLES. THE PIN HEAD MUST BE OF SUFFICIENT AREA AND MASS TO ALLOW FOR WELDING THE PIN TO THE PLATE WITH SUFFICIENT STRENGTH OF WELD ENSURING THE PIN DOES NOT POP UP, COME LOOSE, OR SEPARATE FROM THE PLATE AT ANY TIME.
- STEEL PLATES MUST HAVE A PERMANENT NON-SKID SURFACE IN BOTH DRY AND WET CONDITIONS AND MUST SUPPLY EVEN COVERAGE ACROSS THE PLATE. SWEEP ABRASIVE BLAST SURFACES TO BE COATED TO PROVIDE A 2 MIL PROFILE. NON-SKID SURFACE SHALL BE APPLIED IN THE SHOP BEFORE DELIVERY TO THE FIELD. MATERIAL SHALL BE AS FOLLOWS:
 - PRIMER: INEMEC SERIES N69F EPOKOLINE ONE COAT, 4.0 TO 6.0 MIL DFT.
 - NON-SKID: BROADCAST DRY WASHED SILICA SAND 50-60 MESH INTO WET PRIME COAT. LET DRY AND REMOVE EXCESS SAND.
 - FINISH: INEMEC SERIES 73 OR 1095 ENDURASHIELD ONE COAT, 3.0 TO 5.0 MIL DFT. OR PREPARED SHERWIN WILLIAMS POLYURETHANE ONE COAT, 3.0 TO 5.0 MIL DFT.
 - NON-SKID: BROADCAST DRY WASHED SILICA SAND 50-60 MESH INTO WET PRIME COAT. LET DRY AND REMOVE EXCESS SAND.
 - FINISH: SHERWIN WILLIAMS ACROLON 218 HS ONE COAT, 3.0 TO 5.0 MIL DFT

WATER STANDARD NOTES

- ALL WATER MAINS SHALL BE PRESSURE TESTED AND DISINFECTED IN ACCORDANCE WITH THE MOST CURRENT EDITION OF THE WASHINGTON STATE DEPARTMENT OF TRANSPORTATION (WSDOT) STANDARD SPECIFICATIONS FOR ROAD, BRIDGE AND MUNICIPAL CONSTRUCTION (STANDARD SPECIFICATIONS), NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) 24 AND THE CITY OF LYNNWOOD (CITY) REQUIREMENTS. ALL PRESSURE TESTING SHALL BE DONE IN THE PRESENCE OF A REPRESENTATIVE OF THE CITY. ALL MAINS SHALL BE STERILIZED AND FLUSHED PRIOR TO PLACING LINES INTO SERVICE. EXISTING WATER MAINS SHALL BE INSPECTED BY THE CITY PUBLIC WORKS INSPECTOR PRIOR TO BACKFILL. AN AS-BUILT COPY SHALL BE PROVIDED TO THE CITY PRIOR TO PUBLIC WORKS ACCEPTANCE.
- DUCTILE IRON PIPE SHALL BE NEW, CLASS 52, CEMENT-MORTAR LINED, CENTRIFUGALLY CAST PIPE CONFORMING TO THE REQUIREMENTS OF AMERICAN WATER WORKS ASSOCIATION (AWWA) C-151 AND STANDARD SPECIFICATIONS 9.30.1(1). NON RESTRAINED JOINTS SHALL BE RUBBER GASKET, PUSH ON TYPE, OR MECHANICAL TYPE MEETING THE REQUIREMENTS OF AWWA C111. RESTRAINED JOINTS SHALL BE AS APPROVED BY THE CITY INSPECTOR.
- CONCRETE THRUST BLOCKING SHALL BE PLACED AT ALL BENDS, TEES, DEAD ENDS, CROSSES AND AS DESIGNATED BY THE PUBLIC WORKS DIRECTOR. REFERENCE CITY STANDARD PLANS U-WAT-11, U-WAT-12 AND U-WAT-13. BLOCKING SHALL BE POURED IN PLACE AND CURED AGAINST APPROVED FORMS AND NATIVE CUT SLOPES. ALL BLOCKING SHALL BE INSPECTED AND APPROVED PRIOR TO BACK FILL.
- FIRE HYDRANTS SHALL CONFORM TO 9-30.5 OF THE MOST CURRENT ADDITION OF THE STANDARD SPECIFICATIONS, AWWA C502, AWWA 110, AWWA C111, NFPA 24 AND APPLICABLE CITY SPECIFICATIONS AND STANDARDS. REFERENCE CITY STANDARD PLAN F-1.
- WHERE THE CITY RIGHT-OF-WAY AND OR PRIVATE PROPERTY, 2-INCH AND SMALLER WATER SERVICES SHALL BE INSTALLED PER STANDARD SPECIFICATION 9-30.6. THE APPROVED PLANS AND CITY STANDARD PLANS U-WAT-1 AND U-WAT-2. ALL SERVICES, UNLESS SPECIFIED, SHALL BE INSTALLED BY A CITY-APPROVED CONTRACTOR AND AT THE DEVELOPER'S EXPENSE. ALL 3-INCH AND LARGER SERVICES ARE ALWAYS INSTALLED BY THE DEVELOPER AT NO EXPENSE TO THE CITY. THE 3-INCH AND LARGER SERVICES SHALL BE INSTALLED PER THE APPROVED PLANS, STANDARD SPECIFICATIONS AND CITY STANDARD 5-3. TAPS ON EXISTING MAINS SHALL BE DONE HOT UNLESS APPROVED BY THE CITY INSPECTOR.
- A 12-GAUGE TRACER WIRE SHALL BE INSTALLED FOR ALL PLASTIC PIPE AS REQUIRED BY THE CITY PUBLIC WORKS INSPECTOR. TRACER TAPE IS NOT AN ACCEPTABLE ALTERNATIVE TO TRACER WIRE. SEE DETAIL ST-TRE-3 FOR WIRE AND TAPE REQUIREMENTS.
- VALVE BOXES SHALL CONFORM TO WSDOT SPEC. 9-30.3(4) AND LYNNWOOD STANDARD PLAN U-WAT-14.
- TRENCH BACKFILL SHALL BE PLACED PER CITY STANDARD PLAN ST-TRE-3.
- ALL WATER MAINS TO MAINTAIN A MINIMUM COVER OF 36 INCHES BELOW FINISH GRADE; 12 INCHES MINIMUM SEPARATION IS REQUIRED BETWEEN UTILITIES CROSSING PERPENDICULARLY, (18 INCHES FOR SANITARY SEWER), AT NO POINT SHOULD THESE DEPTHS EXCEED 6 FEET EXCEPT WHEN SPECIFICALLY APPROVED ON THE PLANS OR BY THE CITY PUBLIC WORKS INSPECTOR.
- EXISTING WATER SERVICE LINES BETWEEN THE METER SETTER AND THE POINT OF CONNECTION THAT WILL BE REUSED FOR NEW CONSTRUCTION SHALL BE TYPE K COPPER PIPE OR AS APPROVED BY THE CITY.
- ALL RETIRED WATER MAINS SHALL BE ABANDONED PER WSDOT 7-08.3(4).
- ALL PIPE IS TO BE LAID AT TRUE LINE AND GRADE UNLESS OTHERWISE APPROVED BY THE CITY OF LYNNWOOD. AT NO TIME SHALL THE MAXIMUM PIPE DEFLECTION EXCEED THE MANUFACTURER'S REQUIREMENTS. THE MAXIMUM PERMISSIBLE DEFLECTION PER STICK IS AS FOLLOWS:

4 INCHES	21 INCHES
6 INCHES	19 INCHES
8 INCHES	19 INCHES
10 INCHES	19 INCHES
12 INCHES	19 INCHES
- COMPACTION TESTING FOR TRENCHES SHALL BE PER GRADING STANDARD NOTES.



VICINITY MAP
SCALE: 1" = 500'

BENCHMARK

ON THE TOP OF THE SE ANCHOR BOLT OF THE TRAFFIC LIGHT STANDAR AT THE NW CORNER OF THE INTERSECTION OF 196TH STREET SW AND 64TH AVENUE W., CITY OF LYNNWOOD BENCHMARK, BM 75.
ELEVATION = 405.20'
DATUM = NGVD 1929

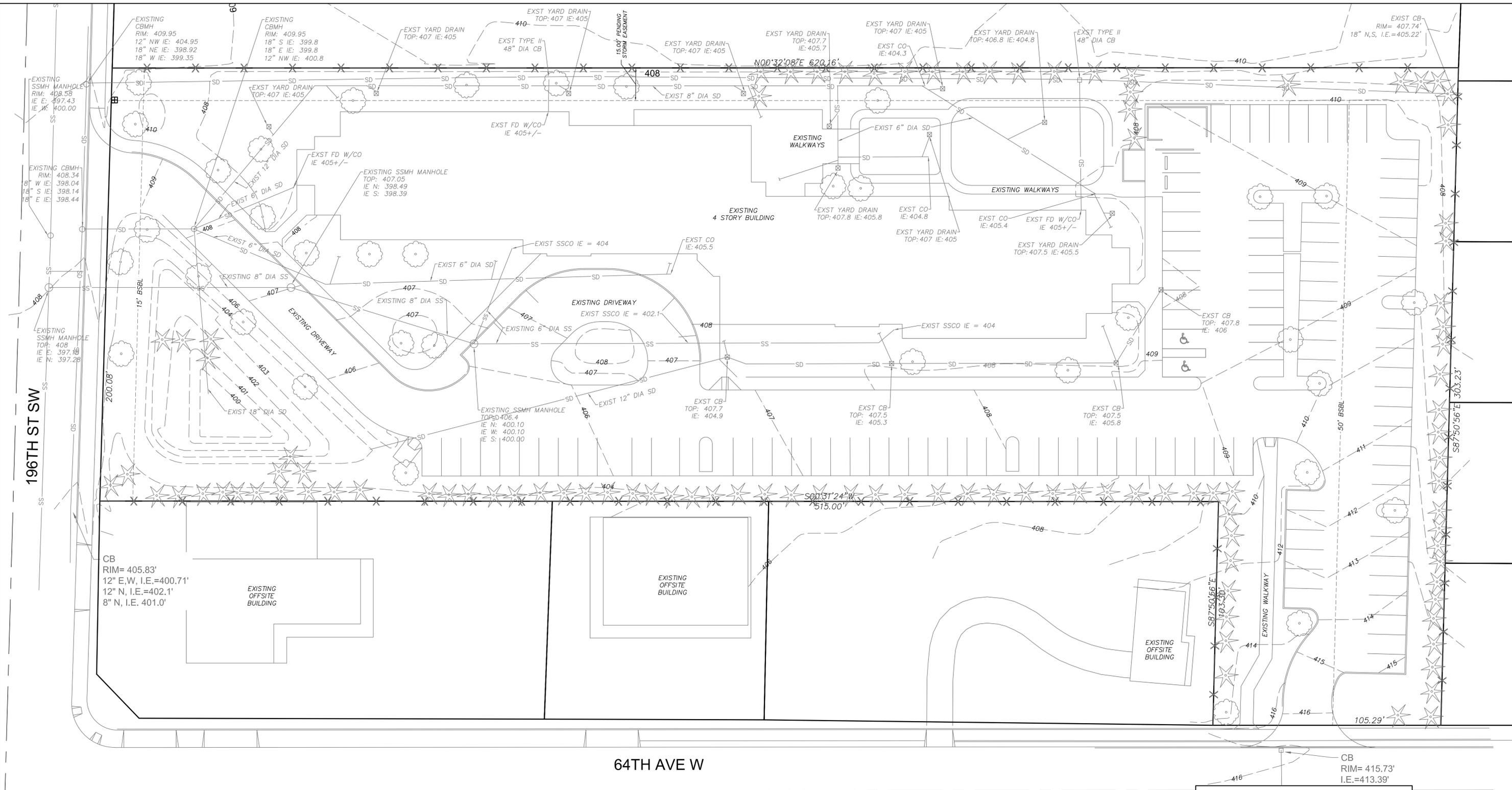
PROJECT INFORMATION

PARCEL NUMBERS: 2704170040100, 27041700401800
ADDRESS: 6425 196TH ST SW, LYNNWOOD, WA 98036
LEGAL DESCRIPTION: SEC 17 TWP 27 RGE 04 RT-34E W3/5 OF E1/2 SE1/4 SW1/4 SE1/4 LESS ST HWY VOL 26/309 (EXEMPT PER ST OF WA REG #12837-001)
SEC 17 TWP 27 RGE 04 RT-34C-1A) N 105.25FT OF E1/5 SE1/4 SW 1/4 SE1/4 LESS E 30FT (EXMPT PER ST OF WA REG #12837-001)
SECTION TOWNSHIP RANGE: SE 17-27-04
SITE AREA: 3.16 ACRES (137,650 SQUARE FEET)
ZONING: NC NEIGHBORHOOD COMMERCIAL

PROJECT TEAM

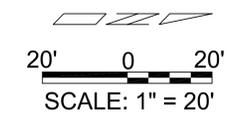
OWNER: ROTARY CLUB OF LYNNWOOD SERVICE CLUB OF LYNNWOOD 5430 138TH PL SW EDMONDS, WA 98026 GBRANT DULL
OWNERS REPRESENTATION: GSC GROUP INC 190 WEST DAYTON, SUITE 204 EDMONDS, WA 98020 JON ROBISON 425-771-9349 JROBISON@GSCGROUP.NET
ARCHITECT: GABBERT ARCHITECTS PLANNERS 20071 BALLINGER WAY NE #211 SHORELINE, WA 98144 MIKE GARRETT 206-367-3000 MIKE.GABBERT@ARCHITECTS.COM
ENGINEER: ROBISON ENGINEERING 19401 46TH AVE W UNIT 302 LYNNWOOD, WA 98036 JON ROBISON 206-364-3343 JROBISON@ROBISONENGINEERING.COM
STRUCTURAL: I.L. GROSS STRUCTURAL ENG. 23914 56TH AVE W MOUNTLAKE TERRACE, WA 98043 ROBYN MAH 425-640-7333 IMAH@ILGROSS.COM
LISA HARBERT 206-371-3079 LSAHARBERT@OUTLOOK.COM

NO

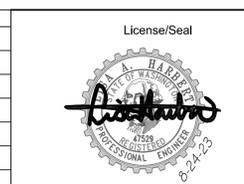


196TH ST SW

64TH AVE W



NO.	REVISIONS	DATE

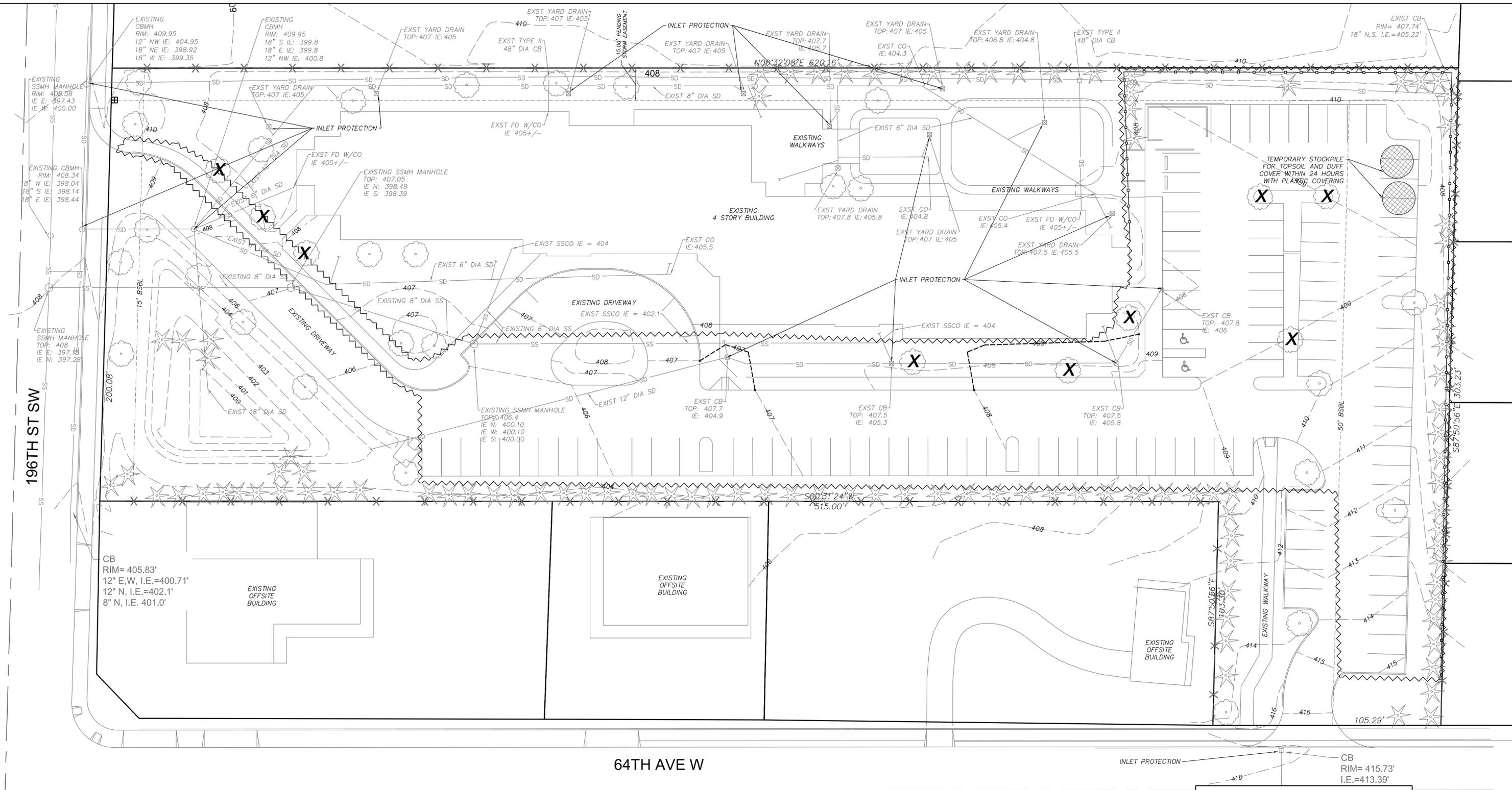


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 LYNNWOOD, WA 98036
 PHONE: (206) 371-3079
 LISAHARBERT@OUTLOOK.COM

GARDEN SENIOR VILLAGE ADDITION
 EXISTING CONDITIONS
 6425 196TH ST SW
 LYNNWOOD, WA 98036

DATE: 8/24/2023
 SCALE: 1"=20'
 DRAWN BY: CB
 CHECKED BY: LH

EXISTING CONDITIONS
C2.0



196TH ST SW

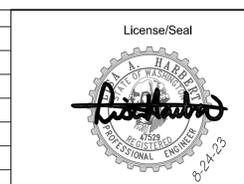
64TH AVE W

- LEGEND:**
- : PLASTIC COVERING
 - : SILT FENCE
 - : LIMITS OF SITE DISTURBANCE

A FULL STAGED CONSTRUCTION SEQUENCING PLAN/TESC WILL BE DETERMINED IN THE NEXT SUBMITTAL.



NO.	REVISIONS	DATE

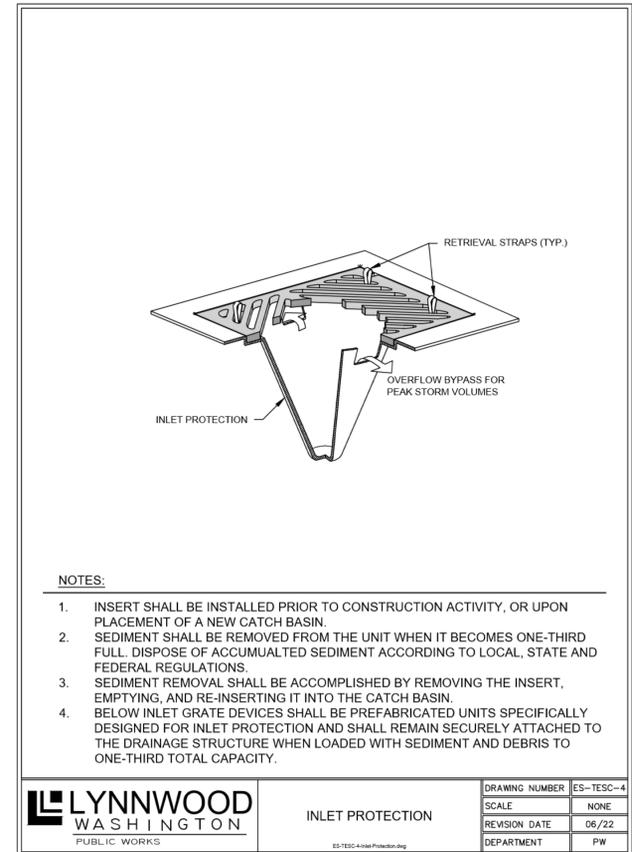
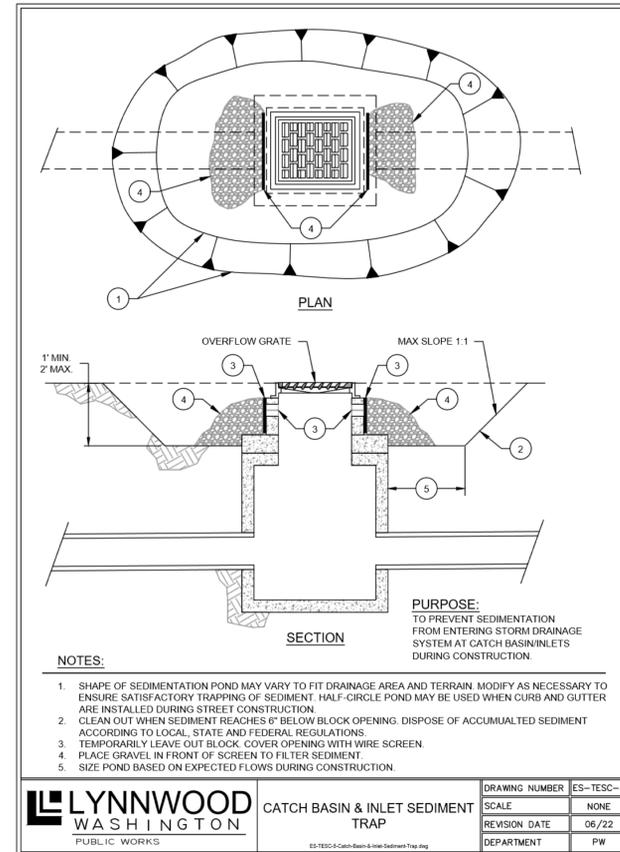
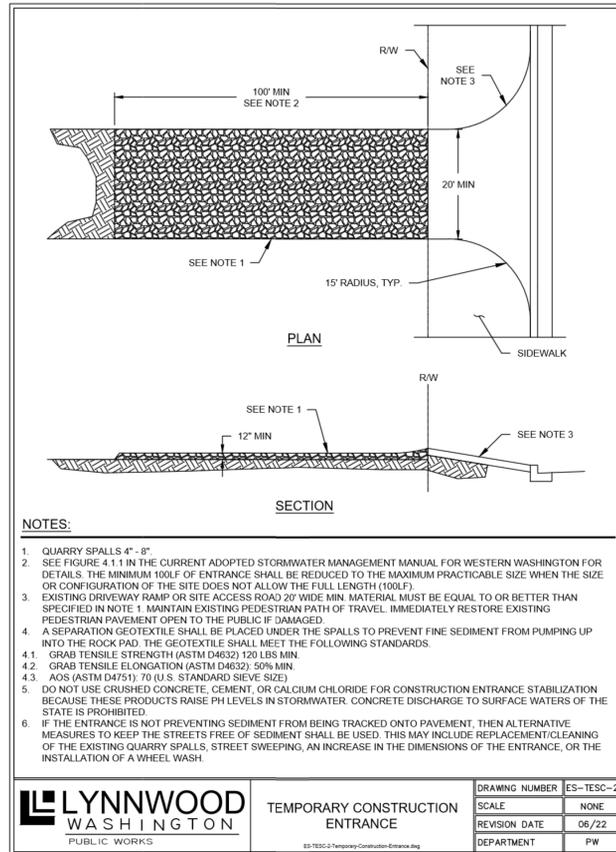
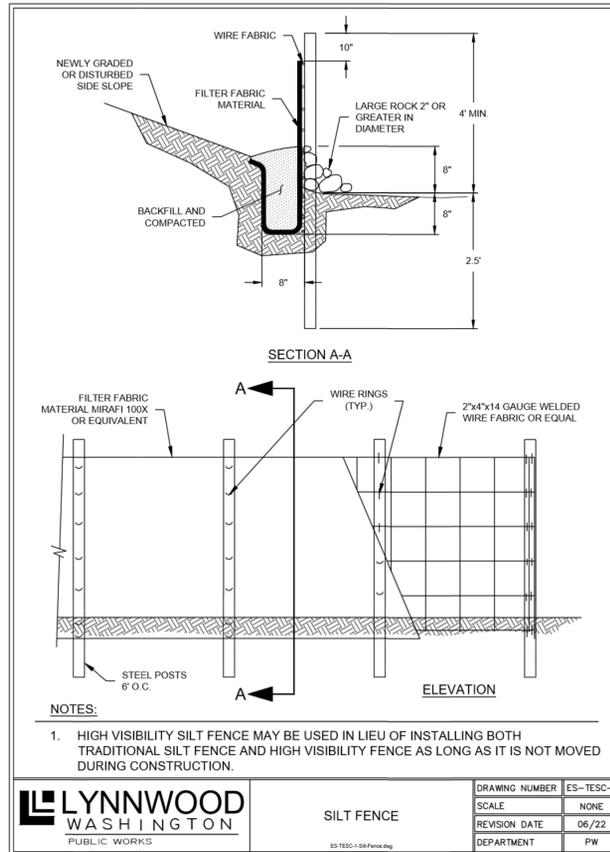


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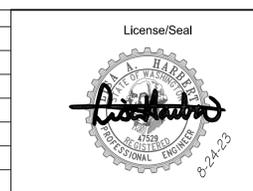
GARDEN SENIOR VILLAGE ADDITION
 TESC PLAN
 6425 196TH ST SW
 LYNNWOOD, WA 98036

DATE: 8/24/2023
 SCALE: 1"=20'
 DRAWN BY: CB
 CHECKED BY: LH

TESC PLAN
C3.0



NO.	REVISIONS	DATE



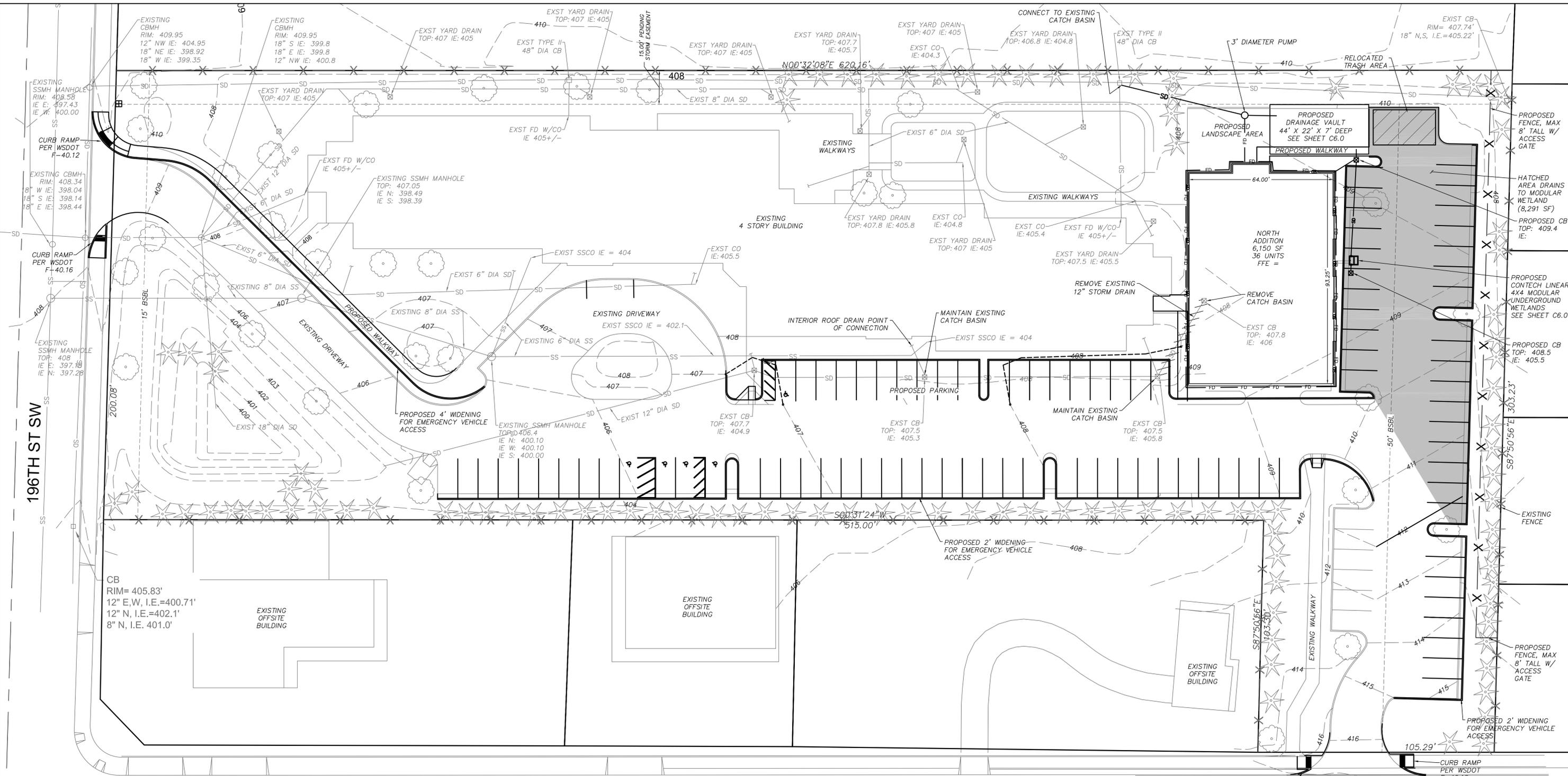
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 LYNNWOOD, WA 98036
 PHONE: (206) 371-3079
 LISAHARBERT@OUTLOOK.COM

LYNNWOOD WASHINGTON
 PUBLIC WORKS

GARDEN SENIOR VILLAGE ADDITION
 TESC DETAILS
 6425 196TH ST SW
 LYNNWOOD, WA 98036

DATE: 8/24/2023
 SCALE: NTS
 DRAWN BY: CB
 CHECKED BY: LH

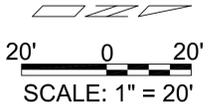
TESC DETAILS
C4.0



196TH ST SW

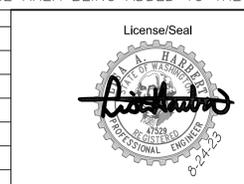
64TH AVE W

- DRAINAGE NOTES:**
1. THE 6,377 SF PROPOSED ROOF WILL DRAIN TO THE DETENTION VAULT.
 2. THE PROPOSED WALKWAY (1,744 SF) AND MUCH OF THE PROPOSED WIDENED PARKING (5,937 SF) WILL DRAIN TO THE EXISTING STORM WATER POND.
 3. AN 8,125 SF AREA OF EXISTING POLLUTION GENERATING IMPERVIOUS SURFACE WILL BE RE-ROUTED AWAY FROM THE EXISTING STORM WATER POND AND TO THE PROPOSED MODULAR WETLAND AND DETENTION VAULT. THE IMPERVIOUS SURFACE AREA REMOVED FROM THE EXISTING POND IS GREATER THAN THE IMPERVIOUS SURFACE AREA BEING ADDED TO THE EXISTING POND.



IMPERVIOUS AREA	
LOT AREA:	137,650 SF
PROPOSED BUILDING ROOF:	6,377 SF
PROPOSED PARKING:	5,908 SF
PROPOSED WALKWAY:	1,744 SF
PROPOSED CURB:	672 SF
EXISTING BUILDING:	22,362 SF
EXISTING PARKING:	37,054 SF
EXISTING WALKWAYS:	6,217 SF
TOTAL IMPERVIOUS:	80,334 SF
PERCENT IMPERVIOUS:	58.4%

NO.	REVISIONS	DATE

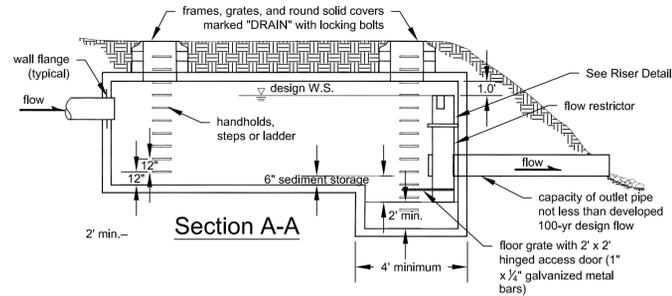
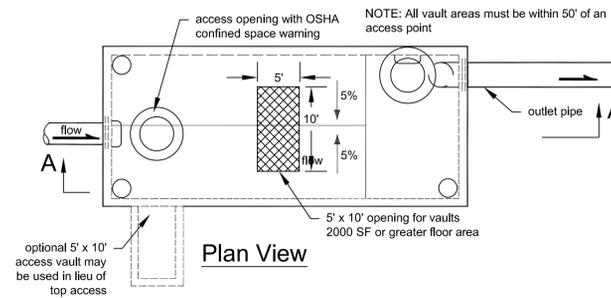


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GARDEN SENIOR VILLAGE ADDITION
 DRAINAGE PLAN
 6425 196TH ST SW
 LYNNWOOD, WA 98036

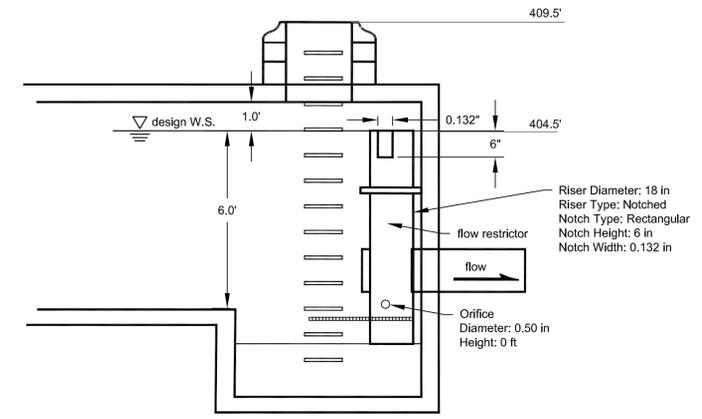
DATE: 8/24/2023
 SCALE: 1"=20'
 DRAWN BY: CB
 CHECKED BY: LH

DRAINAGE PLAN
C5.0



- Notes:
1. All metal parts must be corrosion resistant. Steel parts must be galvanized and asphalt coated (Treatment 1 or better).
 2. Provide water stop at all cast-in-place construction joints. Precast vaults shall have approved rubber gasket system.
 3. Vaults $\leq 10'$ wide must use removable lids.
 4. Prefabricated vault sections may require structural modifications to support 5' x 10' opening over main vault. Alternatively, access can be provided via a side vestibule as shown.

DETENTION VAULT
NTS



DETENTION VAULT RISER
NTS

SITE SPECIFIC DATA	
PROJECT NUMBER	745504
PROJECT NAME	Garden Senior Village
PROJECT LOCATION	Lynnwood, WA
STRUCTURE ID	MWS-1
TREATMENT REQUIRED	
FLOW BASED (CFD)	0.017
PEAK BYPASS REQUIRED (CFD) - IF APPLICABLE	UNOS
PIPE DATA	I.E. MATERIAL DIAMETER
INLET PIPE 1	405.5 PVC N/A
INLET PIPE 2	N/A N/A N/A
OUTLET PIPE	404.5 PVC
PRETREATMENT	BIOFILTRATION DISCHARGE
RIM ELEVATION	409.80
SURFACE LOAD	DIRECT TRAFFIC
NOTES:	
*PRELIMINARY NOT FOR CONSTRUCTION	

INSTALLATION NOTES

1. CONTRACTOR TO PROVIDE ALL LABOR, EQUIPMENT, MATERIALS AND INCIDENTALS REQUIRED TO OBTAIN AND INSTALL THE SYSTEM AND APPROPRIATELY IN ACCORDANCE WITH THE DRAWING AND THE MANUFACTURER'S SPECIFICATIONS, UNLESS OTHERWISE STATED IN MANUFACTURER'S CONTRACT.
2. LIDS MUST BE INSTALLED ON LEVEL BASE. MANUFACTURER RECOMMENDS A MINIMUM 6" LEVEL ROCK BASE UNLESS SPECIFIED BY THE PROJECT ENGINEER. CONTRACTOR IS RESPONSIBLE FOR VERIFYING PROJECT ENGINEER'S RECOMMENDED BASE SPECIFICATIONS.
3. CONTRACTOR TO SUPPLY AND INSTALL ALL EXTERNAL CONNECTING PIPES. ALL PIPES MUST BE FLUSH WITH INSIDE SURFACE OF CONCRETE (PIPES CANNOT BE OVER FLOOR). HEIGHT OF OUTFLOW PIPE MUST BE FLUSH WITH DISCHARGE CHAMBER FLOOR. ALL PIPES SHALL BE SEALED WATERTIGHT PER MANUFACTURER'S STANDARD CONNECTION DETAIL.
4. CONTRACTOR RESPONSIBLE FOR INSTALLATION OF ALL PIPES, RISERS, MANHOLES, AND HATCHES. CONTRACTOR TO USE DRAIN AND/OR BRISKS TO MATCH COVERS WITH FINISHED SURFACE UNLESS SPECIFIED OTHERWISE.
5. VEGETATION SUPPLIED AND INSTALLED BY OTHERS. ALL UNITS WITH VEGETATION MUST HAVE SHIP OF SPERM INSECTICIDE SUPPLIED AND INSTALLED BY OTHERS.
6. CONTRACTOR RESPONSIBLE FOR CONTACTING CONTACT FOR ACTION OF UNIT MANUFACTURER'S WARRANTY IS VOID WITHOUT PROPER ACTION BY A CONTACT REPRESENTATIVE.

GENERAL NOTES

1. MANUFACTURER TO PROVIDE ALL MATERIALS UNLESS OTHERWISE NOTED.
2. ALL DIMENSIONS, ELEVATIONS, SPECIFICATIONS AND DIMENSIONS ARE SUBJECT TO CHANGE FOR PROJECT SPECIFIC DRAWINGS DETAILING EXACT DIMENSIONS, WEIGHTS AND ACCESSORIES PLEASE CONTACT CONTACT.

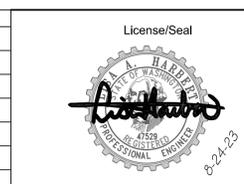
TREATMENT FLOW (CFD)	0.017
OPERATING HEAD (FT)	1.1
PRETREATMENT LOADING RATE (GPM/SF)	0.6
METLAND MEDIA LOADING RATE (GPM/SF)	1.0

MWS-L-4-4-V-UG
STORMWATER BIOFILTRATION SYSTEM
STANDARD DETAIL

Logos for **LANDLANDS** and **CONTECH ENGINEERED SOLUTIONS LLC** are present.

ENHANCED WATER QUALITY DETAIL
NTS

NO.	REVISIONS	DATE

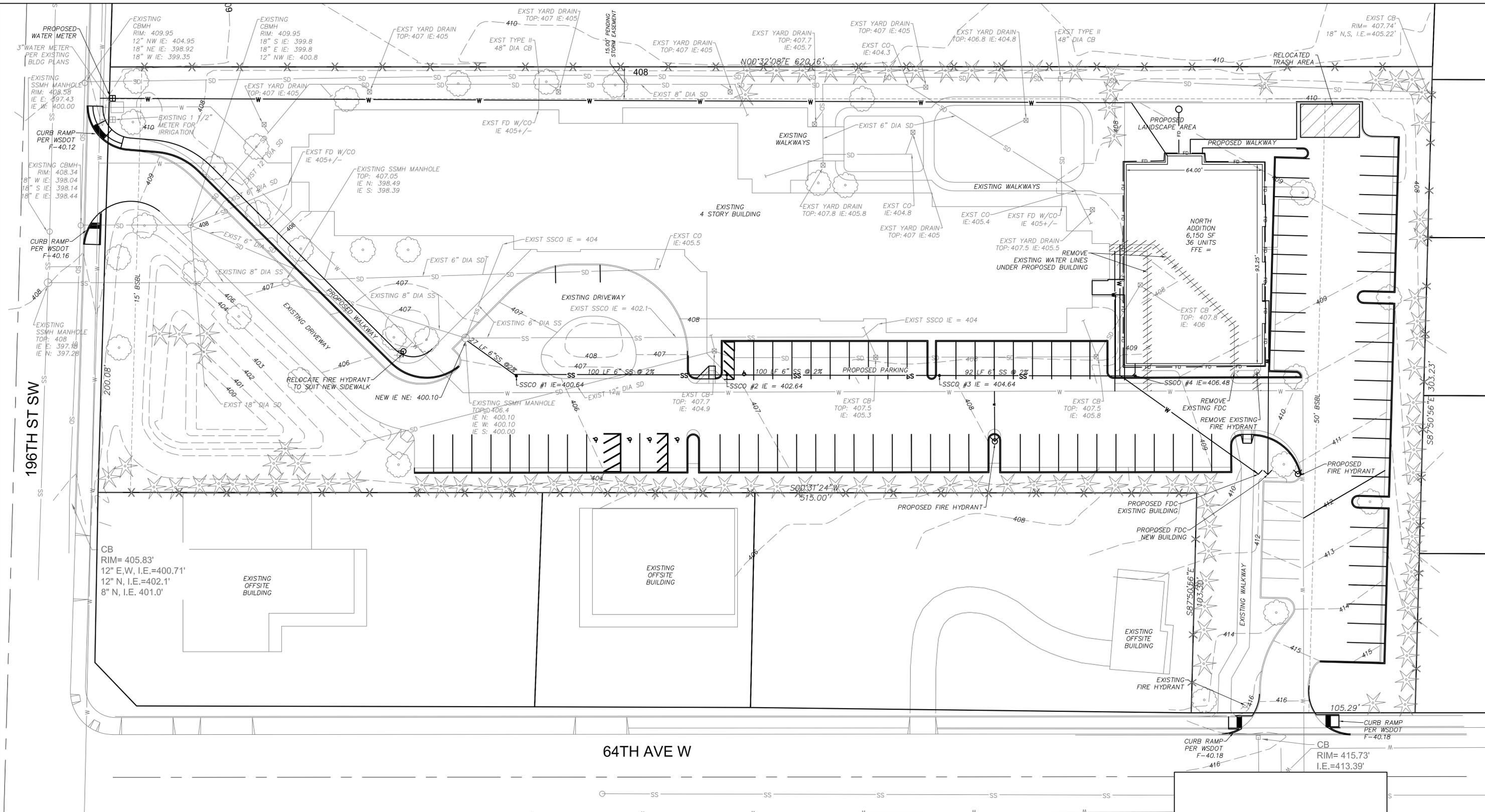


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LISAHARBERT@OUTLOOK.COM

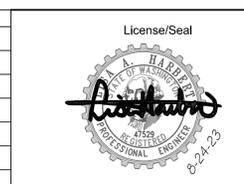
GARDEN SENIOR VILLAGE ADDITION
DRAINAGE DETAILS
6425 196TH ST SW
LYNNWOOD, WA 98036

DATE: 8/24/2023
SCALE: NTS
DRAWN BY: CB
CHECKED BY: LH

DRAINAGE DETAILS
C6.0



NO.	REVISIONS	DATE

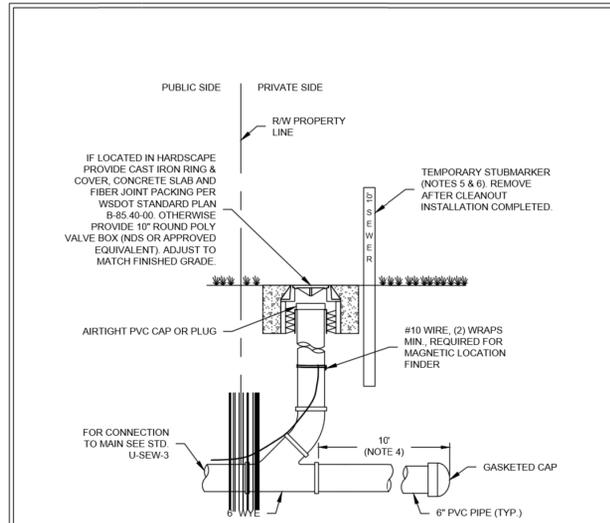


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 LYNNWOOD, WA 98036
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GARDEN SENIOR VILLAGE ADDITION
 UTILITIES PLAN
 6425 196TH ST SW
 LYNNWOOD, WA 98036

DATE: 8/24/2023
 SCALE: 1"=20'
 DRAWN BY: CB
 CHECKED BY: LH

UTILITIES PLAN
C7.0



NOTES:

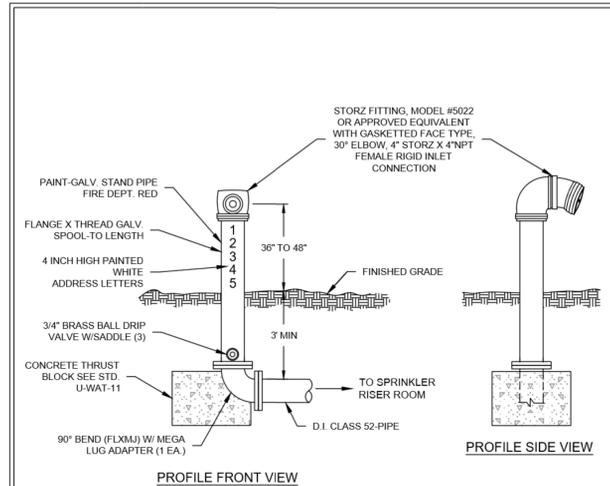
- CLEAN-OUT PIPE AND FITTINGS SHALL BE PVC WITH GASKET FITTINGS, NO GLUE JOINTS ALLOWED.
- A SANITARY TEE OR SWEEP MAY BE INSTALLED IN LIEU OF A WYE AS SHOWN. STRAIGHT TEES ARE NOT ACCEPTABLE.
- FOR NEW PLATS THE VERTICAL RISER PORTION OF THE CLEAN-OUT WILL BE CONSTRUCTED AT TIME OF CONNECTION TO BUILDING TO MINIMIZE DAMAGE. THE 6" WYE AND 6" PVC PIPE W/GASKETED CAP WILL BE INSTALLED PRIOR TO BUILDING CONNECTION.
- SEWER STUB WILL BE EXTENDED 10' BEYOND PROPERTY LINE TO PREVENT DAMAGE TO CLEAN-OUT AND MINIMIZE CONFLICTS WITH OTHER UTILITIES WHEN SERVICE TO BUILDING IS ACCOMPLISHED.
- A PRESSURE TREATED 2"x4" OR CONCRETE STUBMARKER SHALL EXTEND DOWN TO A MIN OF 24" BELOW GROUND. A MIN OF 36" SHALL EXTEND ABOVE GROUND.
- THE STUBMARKER SHALL BE PAINTED WITH WHITE TRAFFIC PAINT AND THE WORD "SEWER" AND THE DEPTH IN FEET FROM GROUND TO SEWER STUB INVERT SHALL BE PAINTED ON THE MARKER WITH 3" HIGH BLACK PAINTED LETTERS.



SEWER CLEANOUT

U-SEW-4-Sewer-Cleanout.dwg

DRAWING NUMBER	U-SEW-4
SCALE	NONE
REVISION DATE	01/22
DEPARTMENT	PW



NOTES:

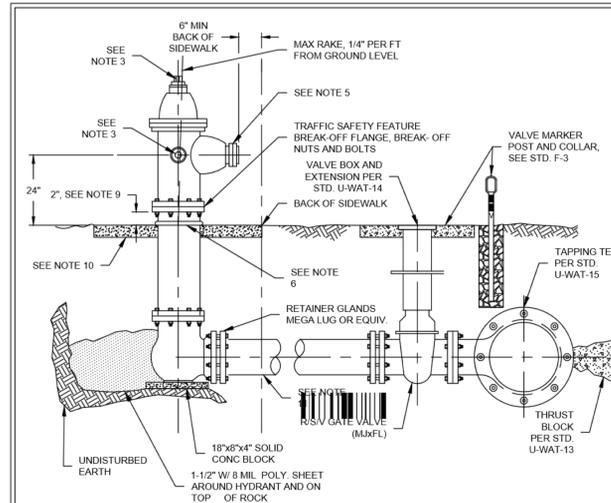
- PROVIDE BOLLARDS FOR VEHICULAR TRAFFIC PROTECTION WHEN NECESSARY. BOLLARDS AND POSITION TO BE IDENTICAL TO HYDRANT SHOWN PER STD. F-2.
- MINIMUM 4" PIPE (NFPA 13 16.12.4).
- EACH FIRE DEPARTMENT CONNECTION TO SPRINKLER SYSTEMS SHALL BE DESIGNATED BY A SIGN HAVING RAISED OR ENGRAVED LETTERS AT LEAST 1" IN HEIGHT ON PLATE OR FITTING READING SERVICE DESIGN. FOR EXAMPLE, "SPRINKLER", "STANDPIPE" OR "SPRINKLER-STANDPIPE" (NFPA 13 16.12.5.8.1).
- A SIGN SHALL ALSO INDICATE THE PRESSURE REQUIRED AT THE INLETS TO DELIVER THE GREATEST SYSTEM DEMAND (NFPA 13 16.12.5.8.2).
- AT BALL DRIP VALVE-INSTALL 1/2 C.Y. 3/4" WASHED ROCK WRAPPED IN FILTER FABRIC.
- SEE FIRE GENERAL NOTES FOR PLACEMENT AND FURTHER REQUIREMENTS.



FIRE DEPARTMENT CONNECTION

F-4-Fire-Department-Connection.dwg

DRAWING NUMBER	F-4
SCALE	NONE
REVISION DATE	11/20
DEPARTMENT	PW



NOTES:

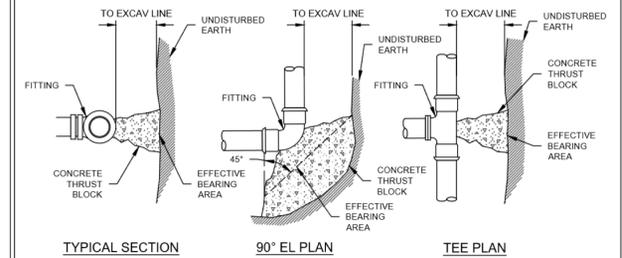
- HYDRANTS AND ALL MATERIALS TO BE APWA OR AWWA APPROVED (HYDRANTS SHALL BE MUELLER CENTURION A-423 OR AMERICAN DARLING 862B).
- 5-1/4" MAIN VALVE SEAT.
- 1-1/4" OPERATING NUT AND CAP NUT FOR 2-1/2" PORTS - CHAINS REMOVED.
- NATIONAL STANDARD THREAD ON THE 2-1/2" PORT.
- NATIONAL STANDARD THREAD W/4" NON-LOCKING STORZ ADAPTER AND CAP ON 4 1/2" PORT.
- IF HYDRANT RISES THROUGH CONCRETE, USE 1/2"x4" EXPANSION STRIP AROUND HYDRANT BARREL. IN ADDITION, INSTALLATION OF THE HYDRANT ON PRIVATE PROPERTY SHALL EQUAL OR EXCEED THE STANDARDS FOR INSTALLATION OF PUBLIC FIRE HYDRANTS IN THE CITY OF LYNNWOOD.
- PROVIDE BOLLARDS FOR VEHICULAR TRAFFIC PROTECTION WHEN NECESSARY PER STD. PLAN F-2.
- 4 1/2" PORT TO BE FACING STREET OR ROADWAY FOR FIRE ENGINE ACCESS.
- BREAK-OFF FLANGE TO BE 2" ABOVE GROUND LEVEL.
- INSTALL A 3' X 3' X 4" ALL-WEATHER PAD APPROVED BY THE FIRE MARSHAL'S OFFICE CENTERED ON THE HYDRANT. PROVIDE MIN. 4" CSBC BASE.
- HYDRANT CONNECTION PIPE TO BE 6" DUCTILE IRON CLASS 52, ANY INTERMEDIATE JOINTS TO BE MJ WITH RETAINER GLANDS (MEGA LUGS OR EQUIVALENT) OR FIELD LOCKS GASKET.
- FIRE HYDRANTS SHALL BE PAINTED WITH TWO COATS OF HIGH GLOSS SAFETY YELLOW "RUST-OLEUM" TYPE PAINT.
- INSTALL RAYOLITE MODEL 44 BLUE REFLECTOR OR APPROVED EQUAL. OFFSET AT CENTERLINE OF ROAD ON SIDE WITH HYDRANT.



FIRE HYDRANT ASSEMBLY

F-1-Fire-Hydrant-Assembly.dwg

DRAWING NUMBER	F-1
SCALE	NONE
REVISION DATE	03/22
DEPARTMENT	PW



FITTING DIA.	TEE OR DEAD END CAP	90°	45°	22 1/2°	11 1/4°
6"	9.3	13.2	7.2	3.6	1.8
8"	16.1	22.7	12.3	6.3	3.2
12"	34.2	48.4	26.2	13.3	6.7

MINIMUM BEARING AREA TABLE (SF)

NOTES:

- BEARING AREA TABLE BASED ON 250 PSI TEST PRESSURE, 1,500 PSF SOIL BEARING AND SAFETY FACTOR OF 1.5.
- LOCATION AND SIZE OF BLOCKING FOR PIPE LARGER THAN 12" AND FOR SOIL BEARING PRESSURE DIFFERENT THAN SHOWN SHALL BE APPROVED BY THE CITY OF LYNNWOOD.
- THIS TABLE REPRESENTS THE "MINIMUM" CONSTRUCTION STANDARDS. THE DEVELOPER'S ENGINEER SHALL BE RESPONSIBLE FOR DETERMINING THE APPROPRIATE SIZE OF ALL THRUST BLOCKS BASED ON EXISTING AND LOCAL CONDITIONS.
- ALL BLOCKS ON TEES MUST BE SEPARATED FOR DIRECTION OF THRUST.
- SHEET PLASTIC OVER NUTS AND BOLTS PRIOR TO CONCRETE POUR.
- ALL FITTINGS TO HAVE THRUST BLOCKING AND ALL THRUST BLOCKS TO BE 3,000 PSI COMPRESSION STRENGTH CONCRETE POURED IN PLACE.
- BLOCKS TO BE FORMED AS REQUIRED BY LYNNWOOD INSPECTOR.



HORIZONTAL THRUST BLOCKS

U-1005-15-Horizontal-Thrust-Blocks.dwg

DRAWING NUMBER	U-WAT-13
SCALE	NONE
REVISION DATE	01/22
DEPARTMENT	PW

NO.	REVISIONS	DATE



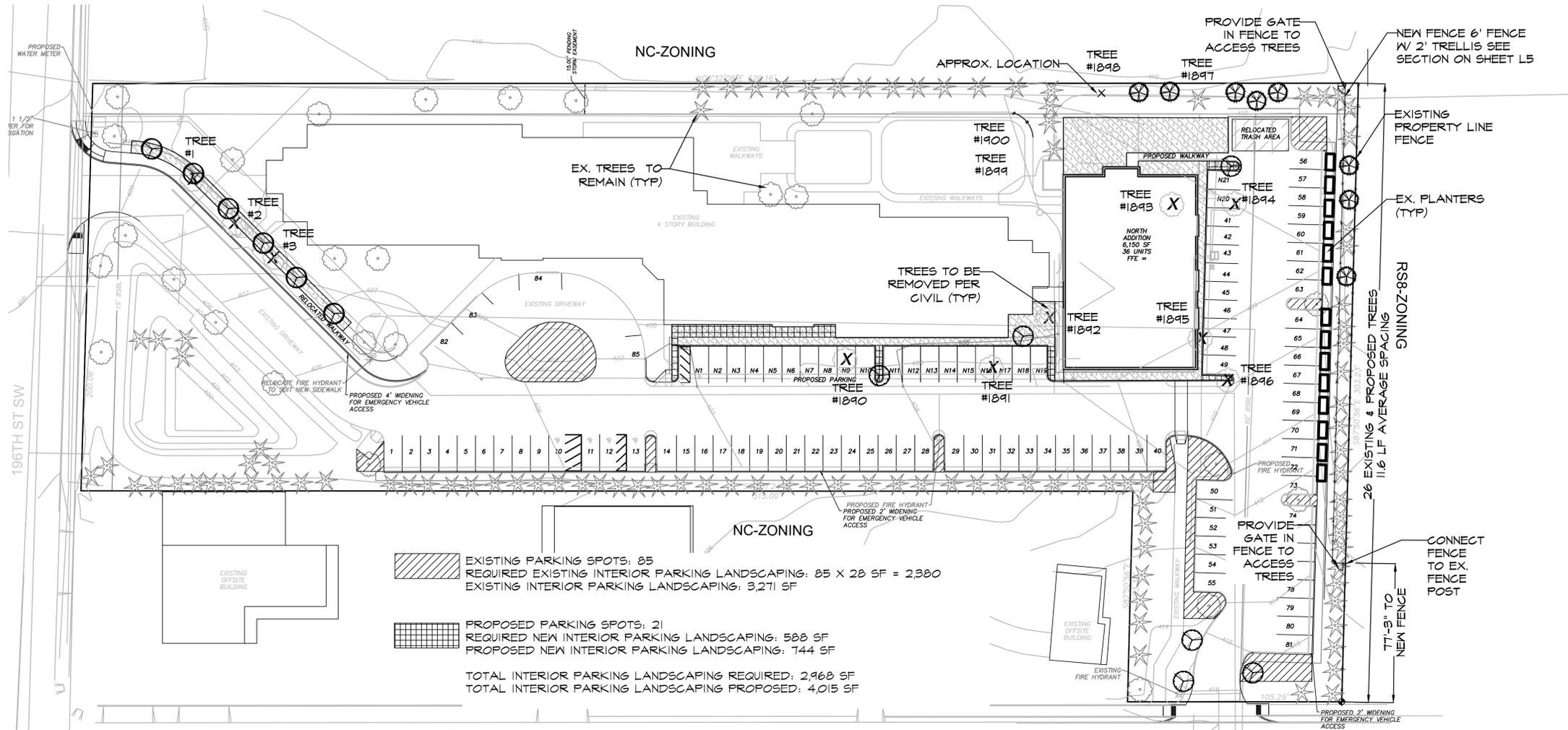
HARBERT ENGINEERS
4620 200TH ST. SW, SUITE B
LYNNWOOD, WA 98036
PHONE: (206) 371-3079
LISAHARBERT@OUTLOOK.COM

GARDEN SENIOR VILLAGE ADDITION
UTILITY DETAILS
6425 196TH ST SW
LYNNWOOD, WA 98036

DATE: 8/24/2023
SCALE: NTS
DRAWN BY: CB
CHECKED BY: LH

UTILITY DETAILS

C8.0



EXISTING PARKING SPOTS: 85
 REQUIRED EXISTING INTERIOR PARKING LANDSCAPING: 85 X 28 SF = 2,380
 EXISTING INTERIOR PARKING LANDSCAPING: 3,211 SF

PROPOSED PARKING SPOTS: 21
 REQUIRED NEW INTERIOR PARKING LANDSCAPING: 588 SF
 PROPOSED NEW INTERIOR PARKING LANDSCAPING: 744 SF

TOTAL INTERIOR PARKING LANDSCAPING REQUIRED: 2,968 SF
 TOTAL INTERIOR PARKING LANDSCAPING PROPOSED: 4,015 SF



PLANT SCHEDULE

SHRUB AREAS	BOTANICAL / COMMON NAME	QTY
	NEW OR REPAIRED LANDSCAPE AREA	5,176 sf

TREE INFORMATION OBTAINED BY ARBORIST REPORT

TREES			
TREE #	DSH	CRZ	REMOVE/RETAIN
1890 RED MAPLE	13	13	REMOVE
1891 RED MAPLE	12	12	REMOVE
1892 RED MAPLE	14	14	REMOVE
1893 RED MAPLE	8	8	REMOVE
1894 RED MAPLE	8	8	REMOVE
1895 SHORE PINE	14	14	REMOVE
1896 RED MAPLE	9	9	REMOVE
1897 WESTERN R. CEDAR	15	15	RETAIN
1898 WESTERN R. CEDAR	17	17	RETAIN
1899 LEYLAND CYPRESS	21	21	RETAIN
1900 LEYLAND CYPRESS	18	18	RETAIN

7 SIGNIFICANT TREES TO BE REMOVED
 AVERAGE DBH 11.14 = 2 TREE UNITS EACH
 7 TREES X 2 TREE UNITS= 14 REPLACEMENT TREES REQUIRED

TREE INFO. TO BE OBTAINED BY ARBORIST REPORT ONCE UPDATED

TREES			
TREE #	DSH	CRZ	REMOVE/RETAIN
1 RED MAPLE	13	13	REMOVE
2 RED MAPLE	13	13	REMOVE
3 RED MAPLE	13	13	REMOVE

3 SIGNIFICANT TREES TO BE REMOVED
 APPROX. AVERAGE DBH 13 = 2 TREE UNITS EACH
 3 TREES X 2 TREE UNITS = 6 REPLACEMENT TREES REQUIRED

PLANT SCHEDULE

TREES	BOTANICAL / COMMON NAME	SIZE	QTY
	Acer rubrum 'Borhall' / Borhall Maple	2.5" Cal., 8' Ht. min.	6
	Cercidiphyllum japonicum / Katsura Tree	2.5" Cal., 8' Ht. min.	6
	Thuja plicata / Western Red Cedar	8' Ht. min.	8

LANDSCAPE NOTES

- CONTRACTOR SHALL BE RESPONSIBLE FOR FAMILIARIZING THEMSELVES WITH ALL OTHER SITE IMPROVEMENTS AND CONDITIONS PRIOR TO STARTING LANDSCAPE WORK.
- CONTRACTOR SHALL USE CAUTION WHILE EXCAVATING TO AVOID DISTURBING ANY UTILITIES ENCOUNTERED. CONTRACTOR IS TO PROMPTLY ADVISE OWNER OF ANY DISTURBED UTILITIES. LOCATION SERVICE PHONE 1-800-424-5555.
- CONTRACTOR SHALL BE RESPONSIBLE FOR COMPUTING SPECIFIC QUANTITIES OF GROUND COVERS AND PLANT MATERIALS UTILIZING ON-CENTER SPACING FOR PLANTS AS STATED ON THE LANDSCAPE PLAN AND MINIMUM PLANTING DISTANCES AS SPECIFIED BELOW IN THESE NOTES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING THE QUANTITIES OF PLANTS THAT ARE REPRESENTED BY SYMBOLS ON THE DRAWINGS.
- SUBGRADE IS TO BE WITHIN 1/8" OF ONE FOOT AS PROVIDED BY OTHERS. ALL PLANTING AREAS TO BE CLEARED OF ALL CONSTRUCTION MATERIAL AND ROCKS AND STICKS LARGER THAN 2" DIAMETER.
- 6" DEPTH TOPSOIL IN BED AREAS AND 4" IN ALL LAWN AREAS.
- 2" DEPTH BARK IN ALL BED AREAS.
- ALL PLANT MATERIAL SHALL BE FERTILIZED WITH AGRO TRANSPLANT FERTILIZER 4-2-2 PER MANUFACTURER'S SPECIFICATIONS.
- ALL PLANT MATERIAL SHALL CONFORM TO AAN STANDARDS FOR NURSERY STOCK, LATEST EDITION. ANY REPLACEMENTS MADE AT ONCE.
 - GENERAL: ALL PLANT MATERIAL FURNISHED SHALL BE HEALTHY REPRESENTATIVES, TYPICAL OF THEIR SPECIES OF VARIETY AND SHALL HAVE A NORMAL GROWTH HABIT. THEY SHALL BE FULL, WELL BRANCHED, WELL PROPORTIONED, AND HAVE A VIGOROUS, WELL DEVELOPED ROOT SYSTEM. ALL PLANTS SHALL BE HARDY UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT.
 - TREES, SHRUBS, AND GROUND COVER: QUANTITIES, SPECIES, AND VARIETIES, SIZES AND CONDITIONS AS SHOWN ON THE PLANTING PLAN. PLANTS TO BE HEALTHY, VIGOROUS, WELL FOLIATED WHEN IN LEAF, FREE OF DISEASE, INJURY, INSECTS, DECAY, HARMFUL DEFECTS, AND ALL WEEDS. NO SUBSTITUTIONS SHALL BE MADE WITHOUT WRITTEN APPROVAL FROM LANDSCAPE ARCHITECT OR OWNER.
- ALUMINUM EDGING, PERMALOC OR APPROVED EQUAL, TO BE INSTALLED BETWEEN BARK AND COBBLE.

Root of Design
 206.441.4545
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 Ste 7, FMB 370
 Bethell, WA 98021
 www.rootofdesign.com



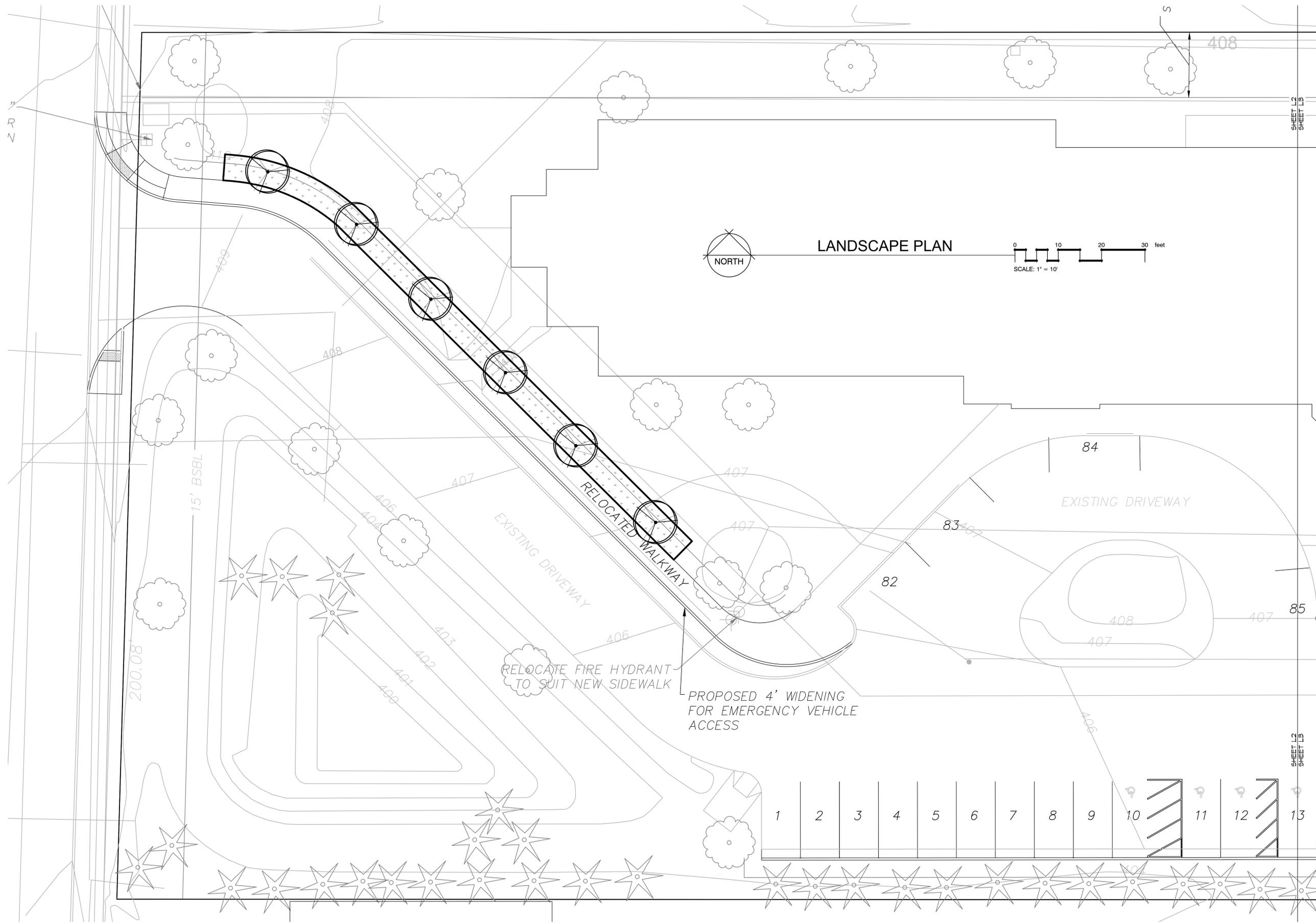
PROJECT TITLE

LANDSCAPE PLAN
 6425 196TH ST SW LYNNWOOD, WA

DRAWN	DATE
ELK	12.05.22
REVISED	DATE
ELK	03.01.23
ELK	06.21.23
ELK/DA	08.23.23
ELK	09.07.23

1/8" = 1'-0"

L1



Root of Design
 206.441.4545
 2020 Maitby Rd
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 Bothell, WA 98021
 www.rootofdesign.com



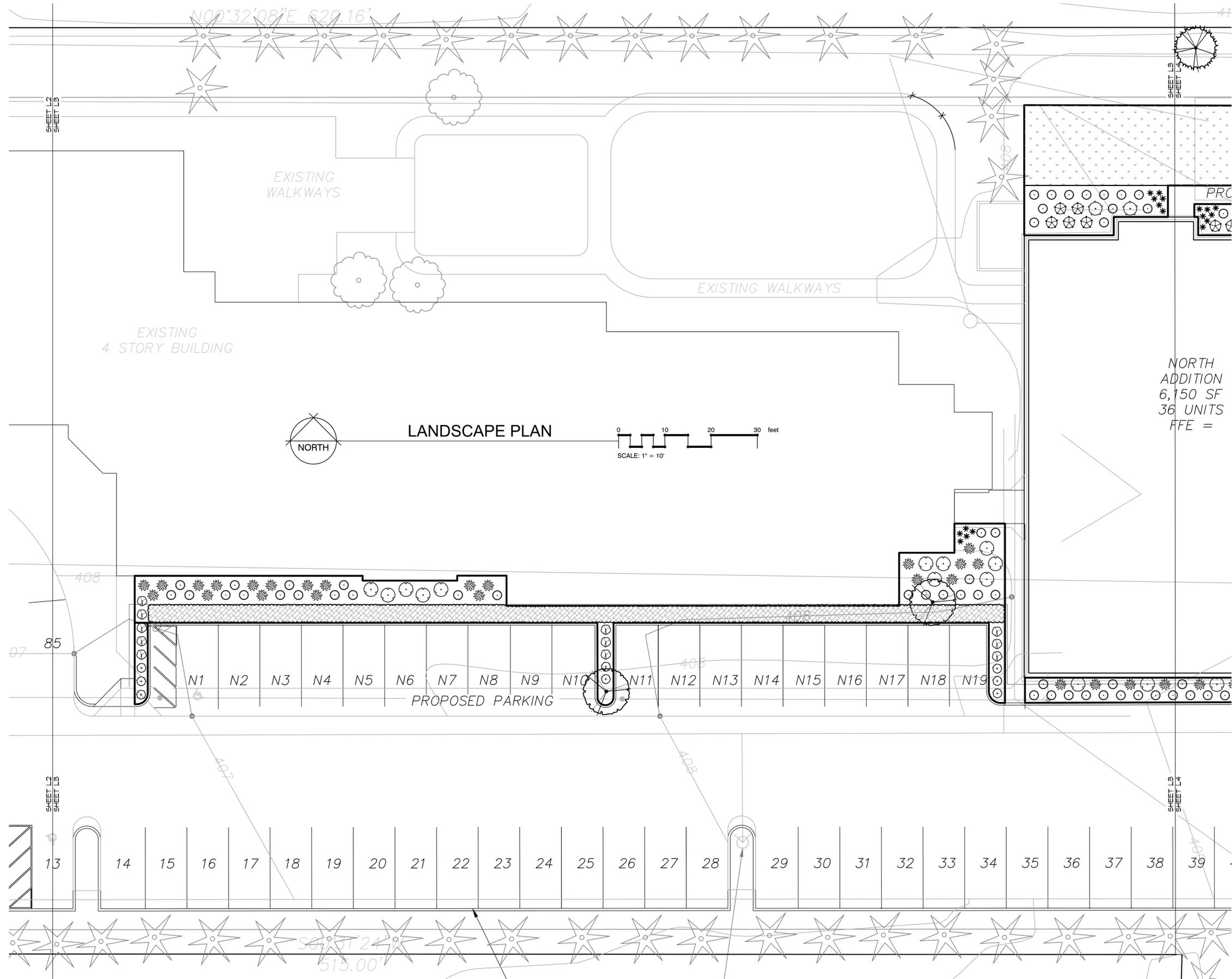
PROJECT TITLE

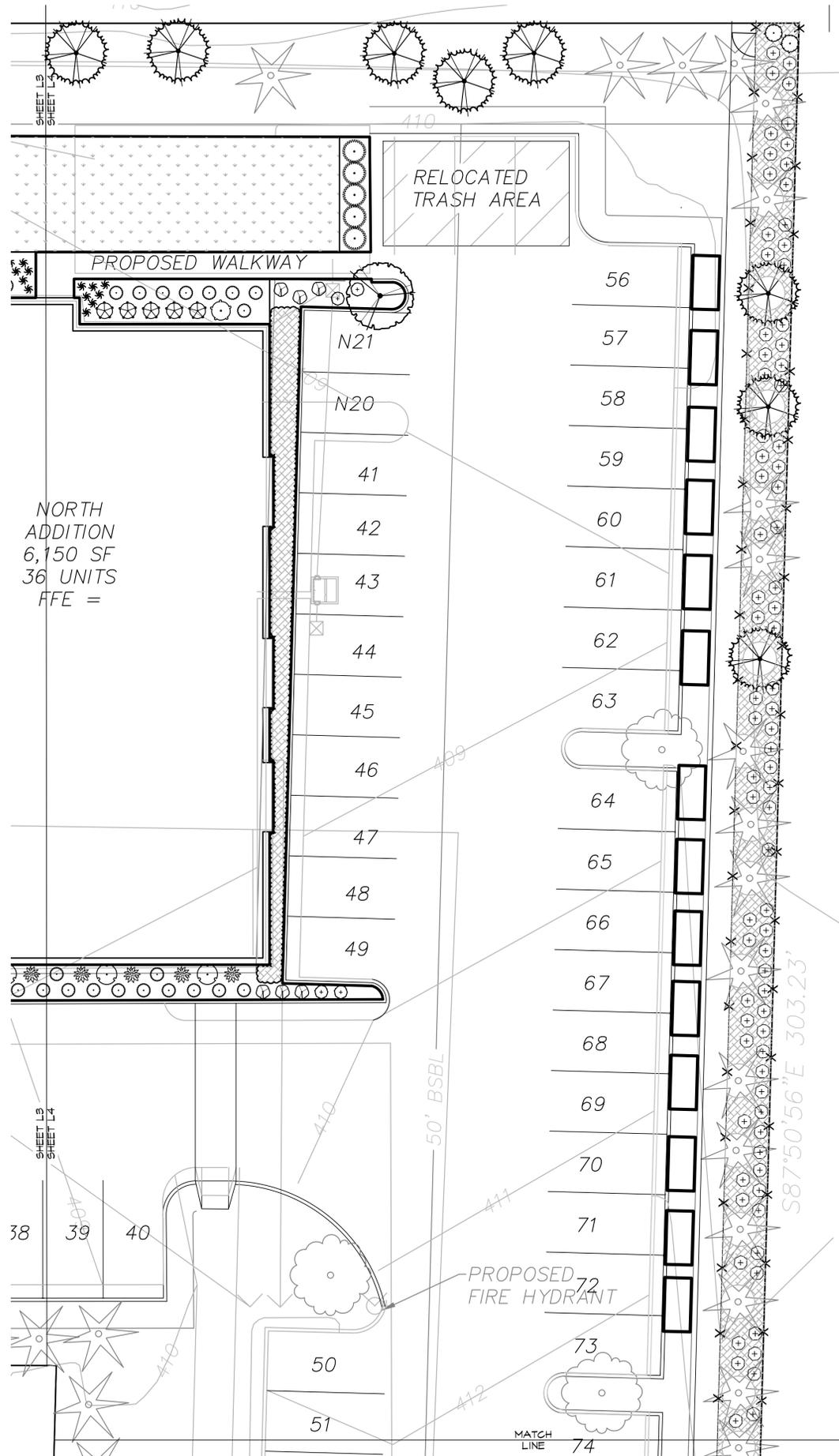
LANDSCAPE PLAN
 6425 196TH ST SW LYNNWOOD, WA

DRAWN	DATE
ELK	12.05.22
REVISED	DATE
ELK	03.01.23
ELK	06.21.23
ELK/DA	08.23.23
ELK	09.07.23

1"=10'-0"

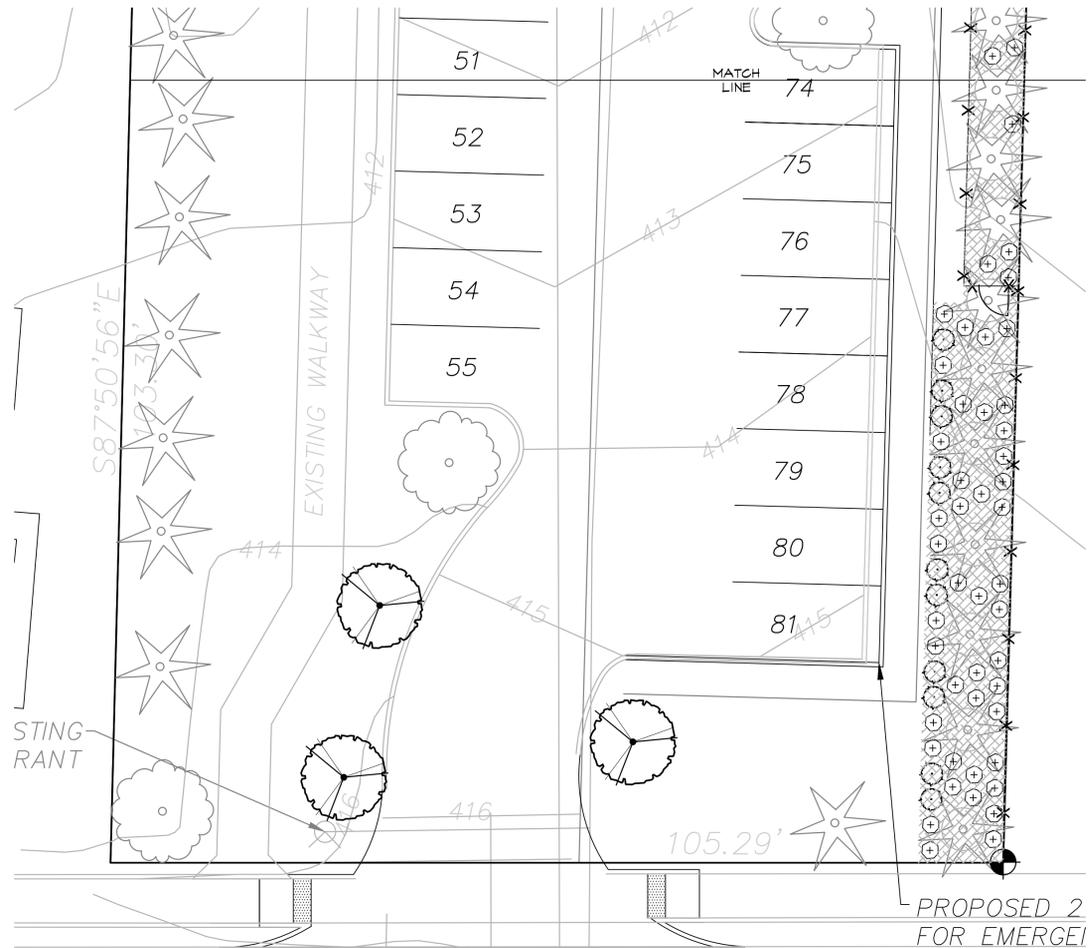
L2





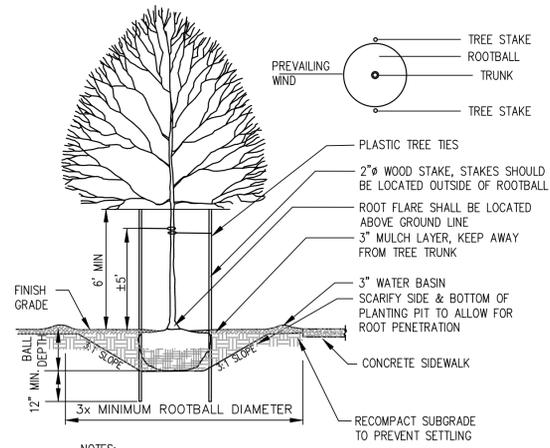
LANDSCAPE PLAN

SCALE: 1" = 10'



PLANT SCHEDULE

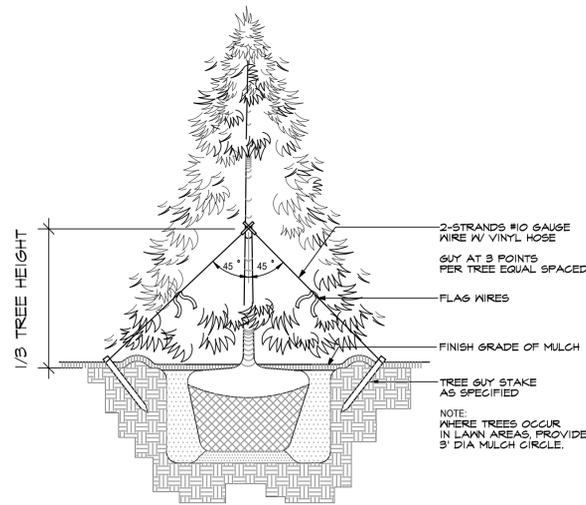
TREES	BOTANICAL / COMMON NAME	SIZE	QTY
	Acer rubrum 'Bowhall' / Bowhall Maple	2.5" Cal., 8' Ht min.	6
	Cercidiphyllum japonicum / Katsura Tree	2.5" Cal., 8' Ht min.	6
	Thuja plicata / Western Red Cedar	8' Ht. min.	8
SHRUBS	BOTANICAL / COMMON NAME	SIZE	QTY
	Carex oshimensis 'Everillo' / Everillo Japanese Sedge	1 gal	18
	Cholysa ternata 'Sundance' / Sundance Mexican Mock Orange	3 gal	3
	Euonymus fortunei 'Emerald 'n' Gold' TM / Golden Wintercreeper	1 gal	17
	Gaultheria shallon / Salal	1 gal	128
	Hydrangea paniculata 'Limelight' / Limelight Hydrangea	3 gal	15
	Lonicera pileata 'Moss Green' / Moss Green Honeysuckle	2 gal	64
	Mahonia aquifolium / Oregon Grape	3 gal	13
	Nandina domestica 'Sienna Sunrise' / Heavenly Bamboo	3 gal	10
	Pieris japonica 'Cavatine' / Lily of the Valley Bush	3 gal	24
	Prunus laurocerasus 'Mount Vernon' / Mount Vernon Laurel	2 gal	12
	Thuja occidentalis 'Smaragd' / Emerald Green Arborvitae	4'-6' Ht	



- NOTES:**
1. TREE PIT SHALL NOT BE LESS THAN (3) TIMES ROOT BALL DIA.
 2. CUT ALL TIES AND FOLD BACK BURLAP FROM UPPER 1/3 OF ROOT BALL
 3. REMOVE ALL PLASTIC AND TWINE
 4. TREE STAKES PERPENDICULAR TO THE PREVAILING WIND
 5. PLANT TREES 2" HIGHER THAN DEPTH GROWN IN NURSERY

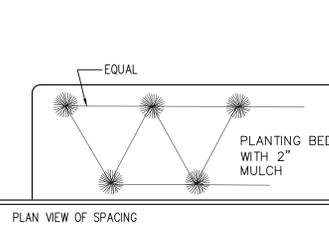
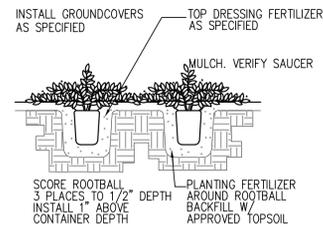
1 TYPICAL DECIDUOUS TREE PLANTING DETAIL

NTS



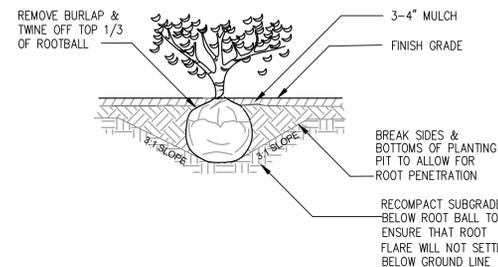
2 TYPICAL EVERGREEN TREE PLANTING DETAIL

NTS



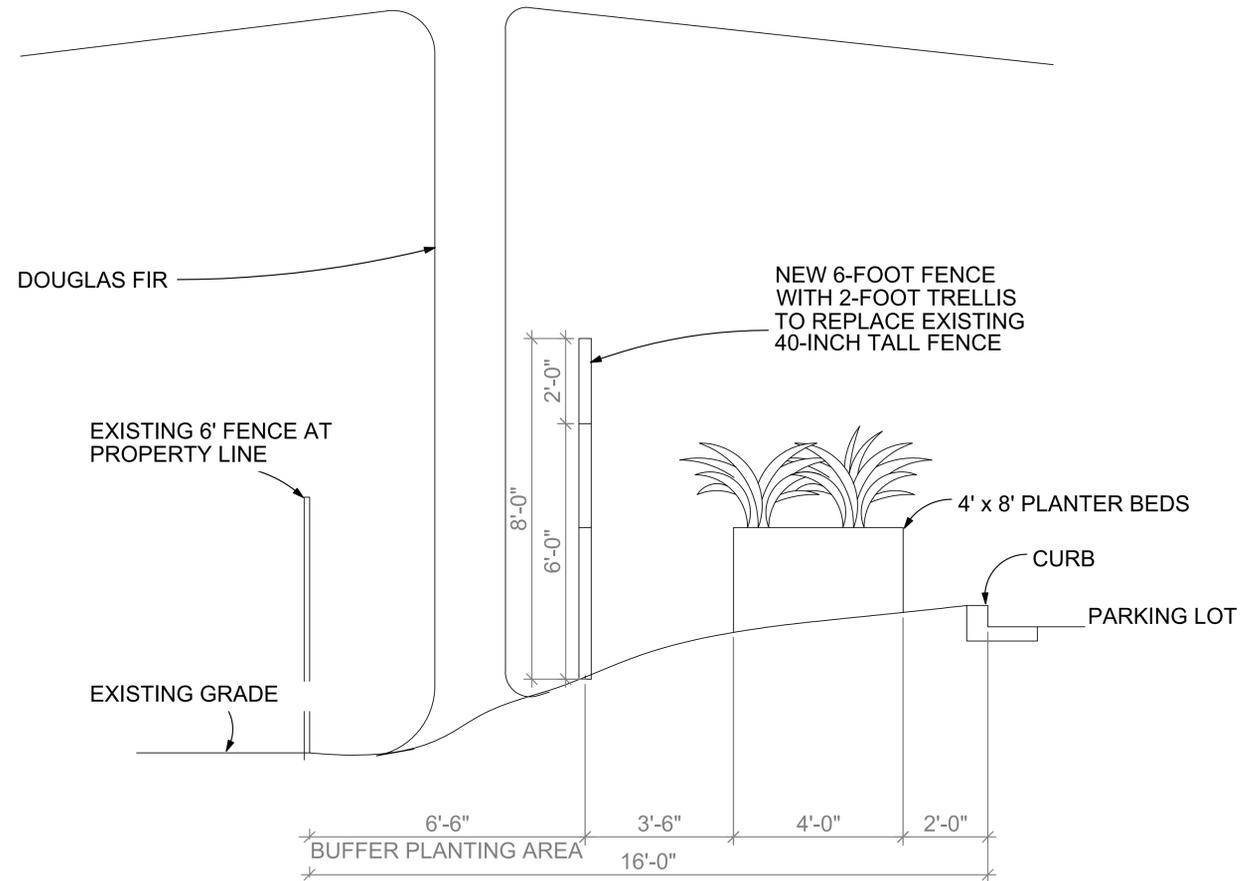
3 TYPICAL GROUNDCOVER PLANTING DETAIL

NTS

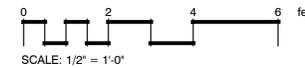


4 TYPICAL SHRUB PLANTING DETAIL

NTS



SECTION OF PROPOSED FENCE ALONG NORTH PROPERTY LINE



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Bothell, WA 98021
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Devin Agee

PROJECT TITLE

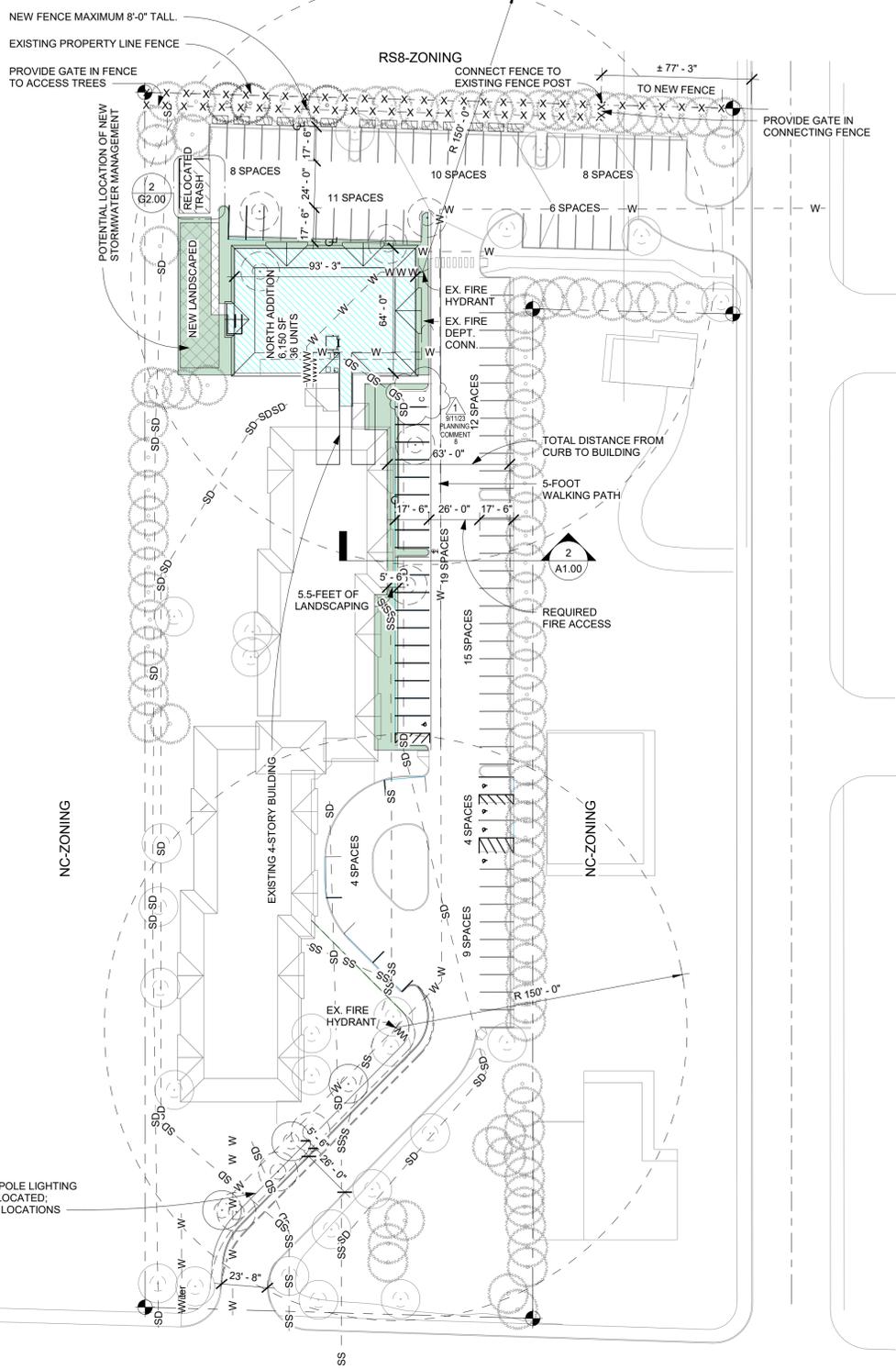
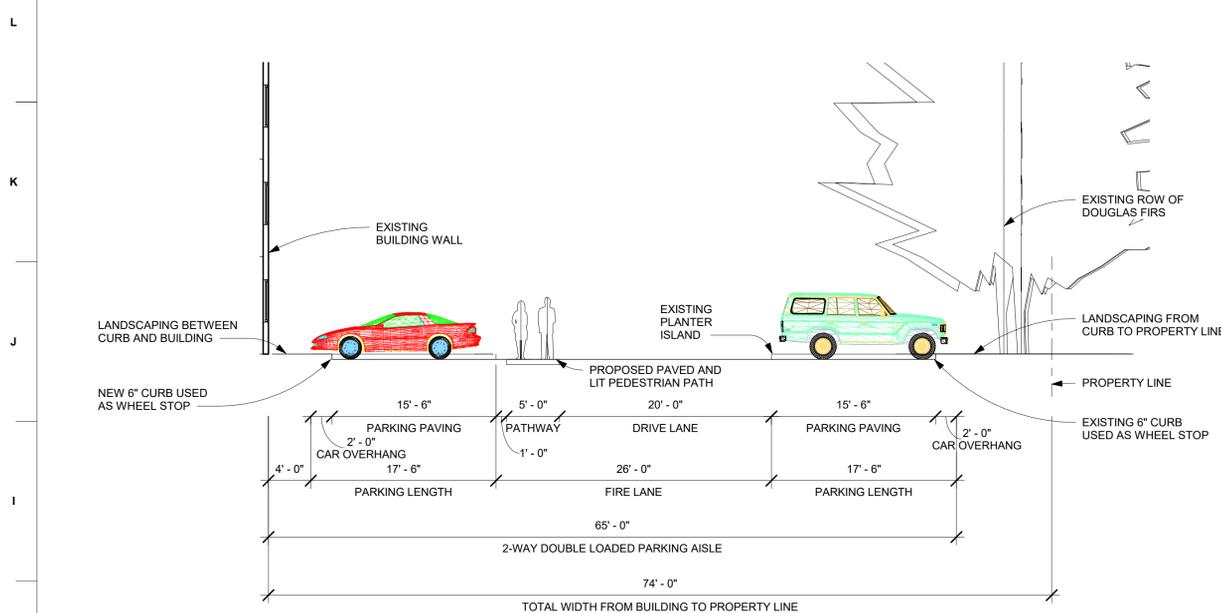
LANDSCAPE DETAILS

6425 196TH ST SW LYNNWOOD, WA

DRAWN	DATE
ELK	12.05.22
REVISED	DATE
ELK	03.01.23
ELK	06.21.23
ELK/DA	08.23.23
ELK	09.07.23

NTS

L5



- ### SITE PLAN NOTES
- SEE CIVIL DRAWINGS FOR EXTENT OF THE SITE WORK AND UTILITY CONNECTIONS
 - REFERENCE THE CIVIL PLANS FOR ALL GRADING, ON SITE CONSTRUCTION, OFF-SITE CONSTRUCTION, AND STORMWATER MANAGEMENT WHICH MAY REQUIRE A SEPARATE BUILDING PERMIT
 - ALL LANDSCAPING ON SITE TO REMAIN EXCEPT AS INDICATED
 - LANDSCAPING SHOWN FOR REFERENCE ONLY SEE LANDSCAPE PLANS
 - SEE SURVEY SHEETS FOR EASEMENTS AND LIMITS OF SITE ACCESS TO ROAD SYSTEM
 - REUSE EXISTING WATER METER AT STREET, SEE SURVEY FOR LOCATION
 - SIDEWALKS, DRIVEWAYS, AND OTHER FLAT WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE SOILS REPORT
 - FINAL STRUCTURE PLACEMENTS IN RELATION TO THE PROPERTY LINES SHALL BE AS DESIGNATED ON THE ARCHITECTURAL DRAWINGS AND SHALL CONFORM TO ALL LOCAL ZONING AND BUILDING CODES, AMENDMENTS AND/OR APPROVED VARIANCES. BUILDER SHALL LOCATE ALL STRUCTURES AND CERTIFY COMPLIANCE WITH SETBACKS PRIOR TO ANY WORK
 - FIRE LINE AND FDC SHOWN FOR REFERENCE ONLY - DESIGN AND CALCULATIONS TO BE PROVIDED BY FIRE PROTECTION DESIGNER
A. DESIGNER TO PROVIDE DIRECTION ON BACKFLOW PREVENTER LOCATION AND INSTALLATION
 - REPLACE ALL BROKEN, DAMAGED OR HAZARDOUS CURB AND GUTTER ABUTTING THE SITE
 - ACCESSIBLE STALL AND AISLE NOT TO EXCEED 2% SLOPE IN ANY DIRECTION

- ### SITE PLAN LEGEND
- N 90° 00' 00" W Distance
- X - - - X - - - X - - - PROPERTY LINE WITH TAG AND CORNER DATUM
 - W - - - W - - - W - - - FENCE LINE
 - OH-P - - OH-P - - OH-P - - WATER
 - G - - - G - - - G - - - OVERHEAD POWER
 - SS - - - SS - - - SS - - - NATURAL GAS
 - SD - - - SD - - - SD - - - SANITARY SEWER
 - SD - - - SD - - - SD - - - STORM DRAIN
 - TREE SYMBOL (EXISTING)
○ DRIP EDGE
○ CRITICAL ROOT ZONE
 - ▲ TARGET SPOT ELEVATION @ BUILDING ENTRIES
 - ▬ POURED CURB
 - ▨ CONCRETE / ASPHALT
 - ▩ GRAVEL / ALT. HARDSCAPE
 - ▧ PAVERS
 - ▩ GROUNDCOVER / LANDSCAPING

PERMIT APPROVAL STAMPS



Northwest LANDSCAPE LIGHTING
2101

Product Type:
Catalog Number:
Project:
Location:

PRODUCT DESCRIPTION
2101 is a 2" recessed quad-directional landscape lighting fixture with a 1/2" diameter lens and a 1/2" diameter base.

FEATURES
• 2" recessed quad-directional design
• Cast aluminum body - 6061-T6
• 1/2" diameter lens and base
• 1/2" diameter base and lens
• 1/2" diameter lens and base
• 1/2" diameter lens and base

OPERATING INSTRUCTIONS
1. Turn on the power to the fixture.
2. The fixture will illuminate in all four directions.

2101-30
© 2011 Northwest Landscape Lighting



REVISION SCHEDULE

NUMBER	DESCRIPTION	DATE
1	PDR COMMENTS	9/11/23

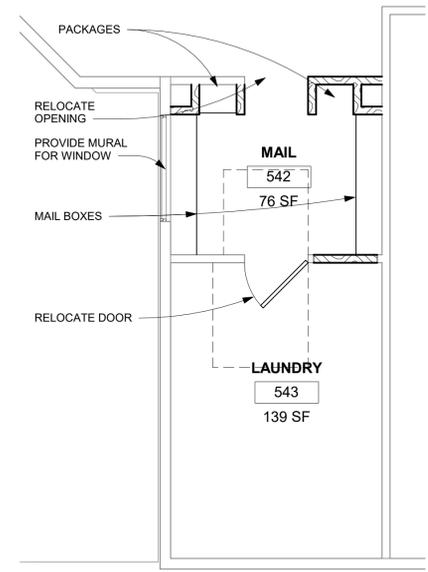
GABBERT ARCHITECTS
20011 Ballinger Way NE, Suite 211
Shoreline, WA 98155
T: 206.367.3600
www.gabbertarchitects.com

GARDEN SENIOR VILLAGE
6425 186TH ST. SW
LYNNWOOD, WA 98036

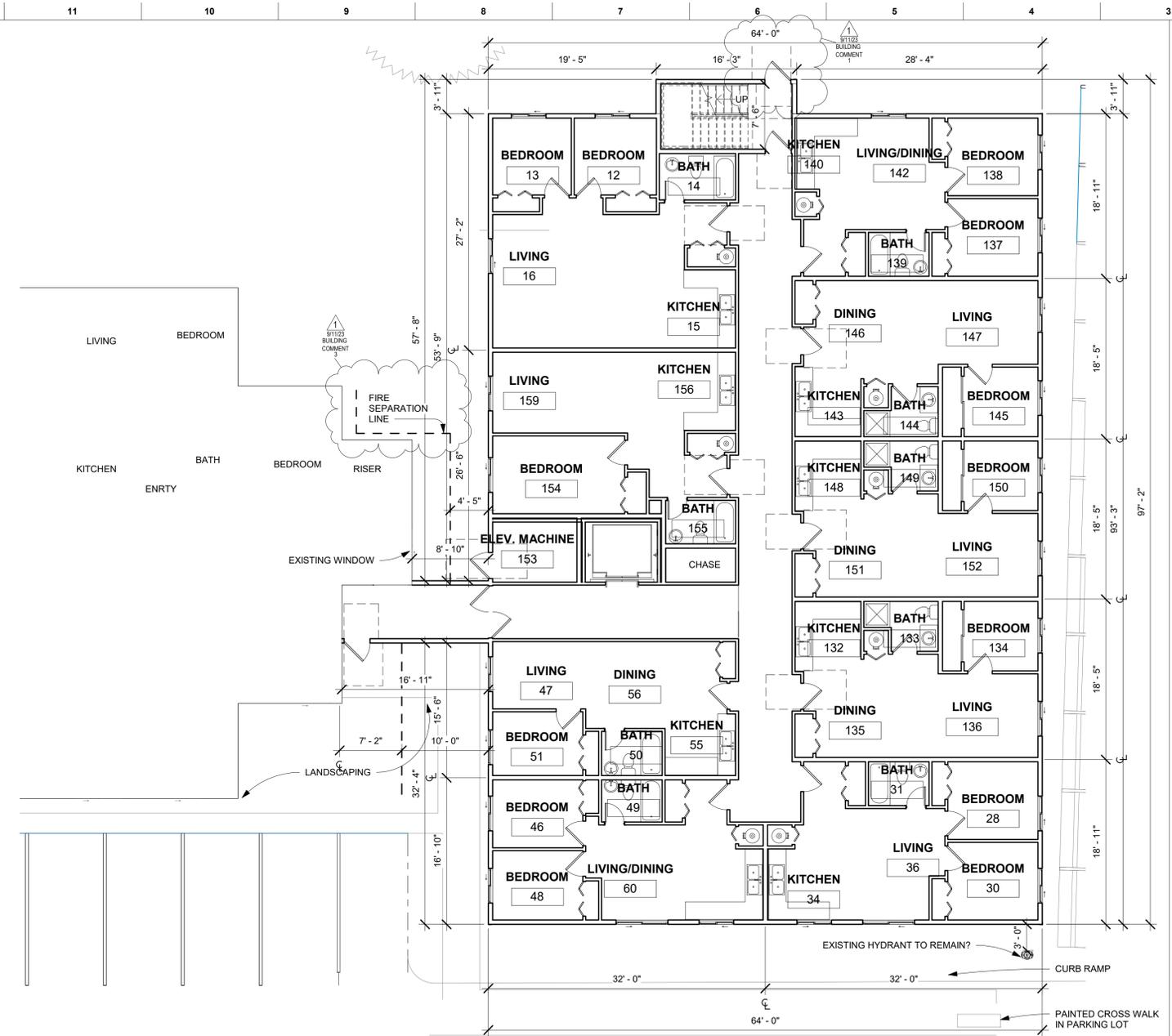
PROJ. NO.: 21018
FEASIBILITY
DRAWN BY: Author
CHECKED BY: Checker
ISSUE DATE: 9/2/2021
SCALE: As Indicated

SITE PLAN
A1.00

9/19/2023 8:55:19 AM



2 MAIL ROOM
1/4" = 1'-0"



1 Level 1 - North Addition
1/8" = 1'-0"



TOTAL UNITS		
BUILDING	Name	Count
EXISTING	1-BEDROOM	109
EXISTING	2-BEDROOM	13
NORTH ADDITION	1-BEDROOM	20
NORTH ADDITION	2-BEDROOM	16
Grand total		158

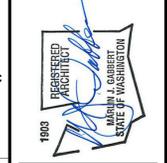
PERMIT APPROVAL STAMPS

REVISION SCHEDULE	DATE
NUMBER DESCRIPTION	
1 PDR COMMENTS 1	9/11/23

PROFESSIONAL SEAL OF ARCHITECT
GABBERT ARCHITECTS
ARCHITECTS
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PROJ. NO:
21018
FEASIBILITY
DRAWN BY: MBG
CHECKED BY: MJG
ISSUE DATE: 9/2/2021
SCALE: As Indicated

NORTH ADDITION
- GROUND LEVEL

A2.20

9/19/2023 8:55:22 AM



NORTH ADDITION



FROM 64TH AVE. W

5 TRANS. DIAGRAM EAST
1/32" = 1'-0"

7 TRANS. DIAGRAM WEST
1/32" = 1'-0"

8 TRANS. DIAGRAM SOUTH
1/32" = 1'-0"

6 TRANS. DIAGRAM NORTH
1/32" = 1'-0"

WINDOW LESS THAN 10' TO WALL < 10% OF WALL

FENESTRATION %			
Key Name	NEW WALL AREA	TRANS. AREA	TRANS. %
EAST	3261	296	9.0
NORTH	3672	609	16.6
SOUTH	3313	420	12.7
WEST	3256	170	5.4
	13502	1495	

REVISION NUMBER	DESCRIPTION	DATE
1	PDR COMMENTS	9/11/23

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 www.gabbertarchitects.com



1 EAST ELEVATION
1" = 20'-0"



THESE IMAGES ARE OF THE EXISTING BUILDING THAT WAS RECENTLY RE-SIDED THE NEW ADDITION WILL MATCH THIS IN LOOK AND MATERIAL.

- ALL SIDING TO BE CEMENT FIBER (EITHER PANEL OR 5" LAP)
- ALL TRIM TO BE CEMENT FIBER
- MANSARD ROOF TO BE ASPHALT SHINGLES
- WINDOWS ARE WHITE VINYL



3 NORTH ELEVATION
1" = 20'-0"



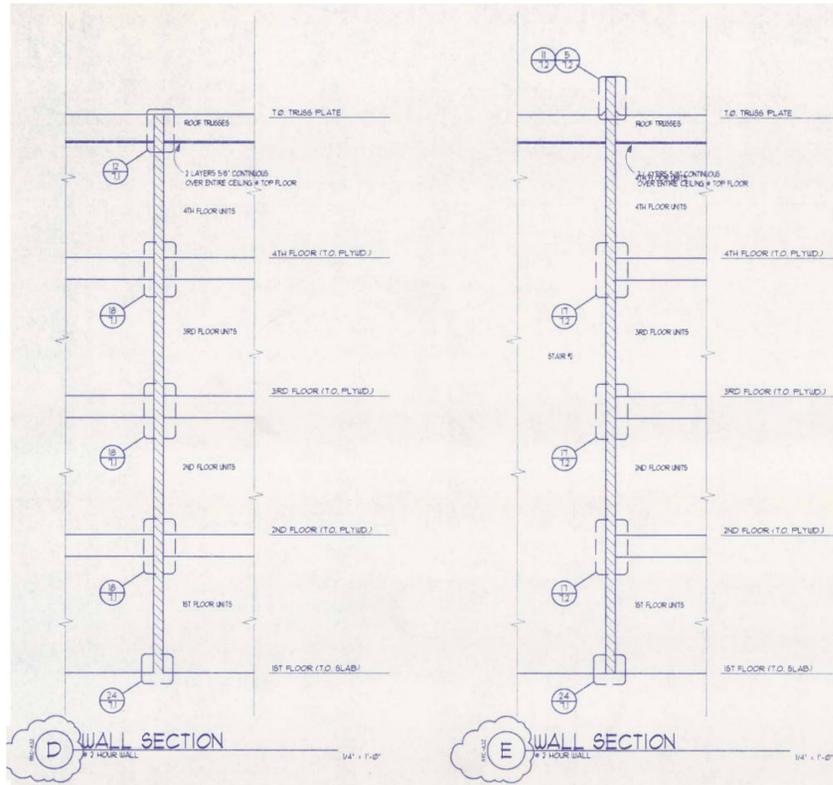
4 WEST ELEVATION
1" = 20'-0"

PERMIT APPROVAL STAMPS

PROJ. NO:
21018
FEASIBILITY

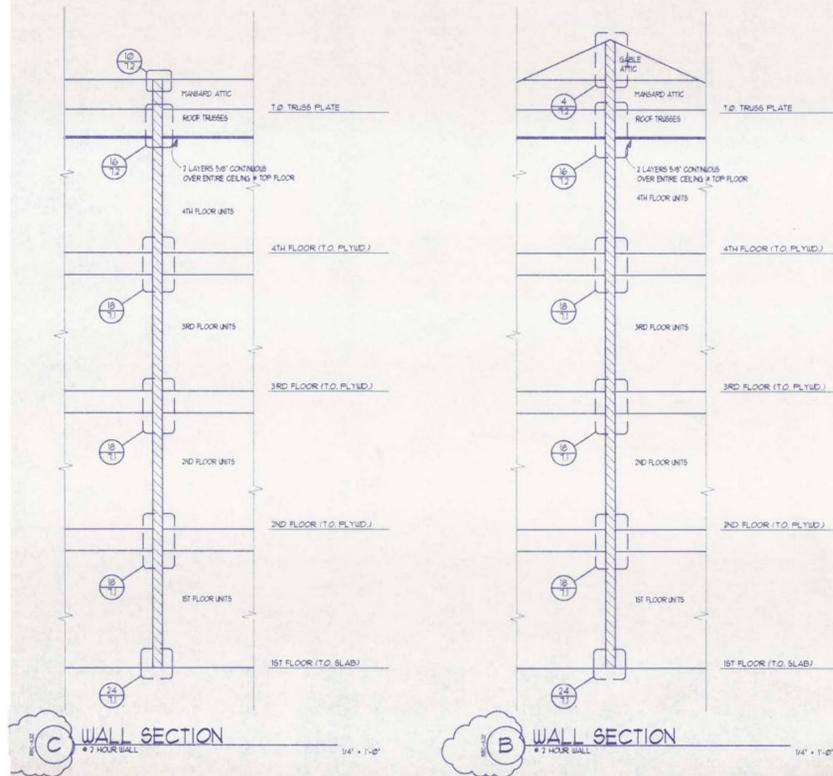
DRAWN BY: Author
 CHECKED BY: Checker
 ISSUE DATE: 9/2/2021
 SCALE: As Indicated

ELEVATIONS
A2.23



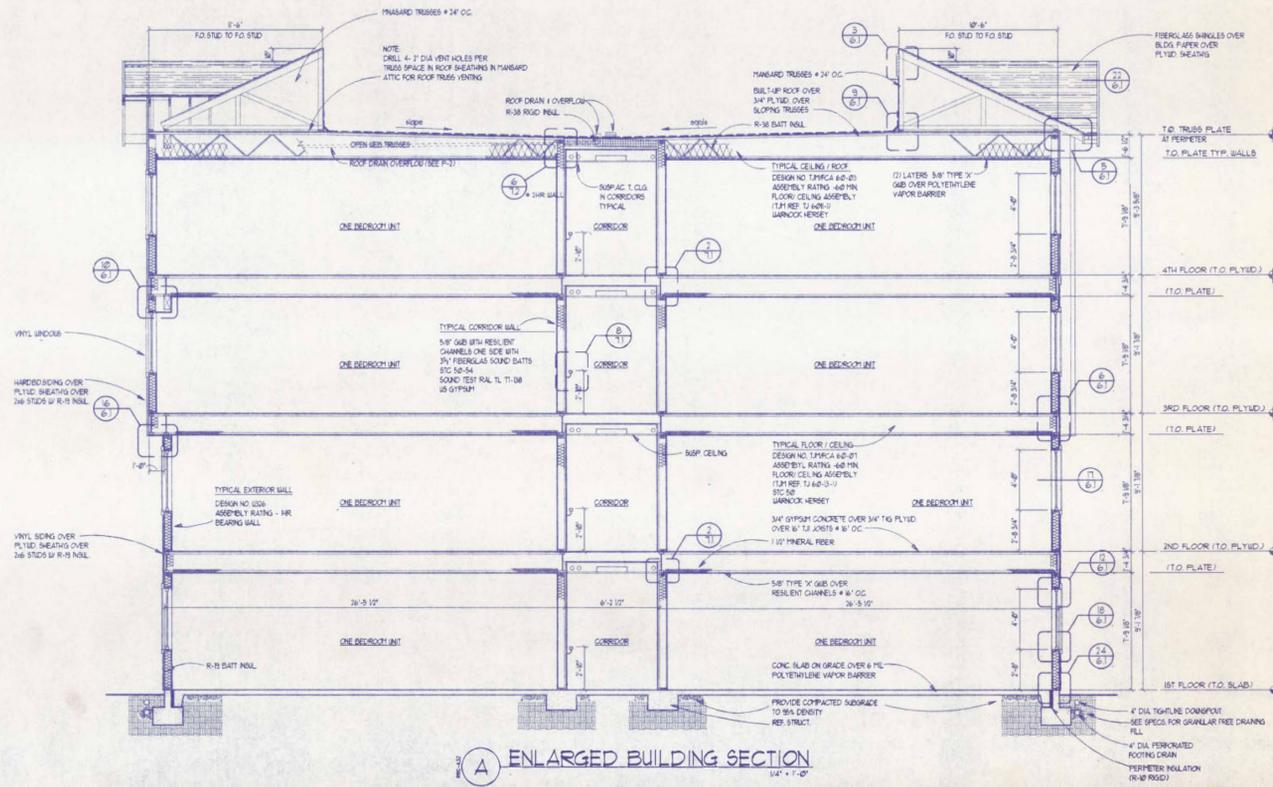
D WALL SECTION
2 1/2 HOUR WALL
14' x 1'-0"

E WALL SECTION
2 1/2 HOUR WALL
14' x 1'-0"



C WALL SECTION
2 1/2 HOUR WALL
14' x 1'-0"

B WALL SECTION
2 1/2 HOUR WALL
14' x 1'-0"



A ENLARGED BUILDING SECTION
1/4" = 1'-0"

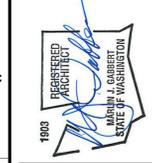
1 BUILDING SECTION TO MATCH
3/8" = 1'-0"

PERMIT APPROVAL STAMPS

REVISION SCHEDULE	DESCRIPTION	NUMBER	DATE

GARDEN SENIOR VILLAGE
6425 196TH ST. SW
LYNNWOOD, WA 98036

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PLANNERS
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PROJ. NO:
21018
FEASIBILITY
DRAWN BY: Author
CHECKED BY: Checker
ISSUE DATE: 9/2/2021
SCALE: 3/8" = 1'-0"

SECTIONS
A6.00